

**THE
EAST LoTHIAN
LOCAL PLAN 2008**

Supplementary Planning Guidance 6
Director of Environment

**East Lothian
Council**

**Environment Department
Planning & Building
Standards**

Development Framework

**Hallhill South West
Dunbar**



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Development Framework Hallhill South West, Dunbar

1.0 PURPOSE OF THE DEVELOPMENT FRAMEWORK

- 1.1 This Development Framework for Hallhill South West, Dunbar has been prepared by East Lothian Council to set out the land uses expected for the Hallhill South West local plan allocation and how the Council requires the site to be developed.
- 1.2 The developer(s) of the site will then prepare a single Masterplan for the entire allocated site, consistent with this Development Framework. The Masterplan must describe and illustrate how the development requirements, design principles and submission requirements of this Development Framework have been satisfied.
- 1.3 East Lothian Council approved this Development Framework on 10 November 2009 adopting it as Supplementary Planning Guidance to the policies and proposals of the East Lothian Local Plan. It will be a material consideration in the determination of any planning applications for the allocated land.

2.0 BACKGROUND

The Development of Hallhill and Lochend

- 2.1 Land at Hallhill South West, Dunbar is allocated in the East Lothian Local Plan 2008 for approximately 500 houses and associated development thereby meeting the requirements of Policy HOU3 of the approved Edinburgh & Lothians Structure Plan 2015. A development of this scale requires to provide a range of housing types and tenures including affordable housing as well as public open space, play areas, pedestrian and cycle routes and to be accessible to public transport. Map 1 shows the allocated site.
- 2.2 The site is south of the East Coast Main Line that travels through Dunbar. Major areas of residential development to the south of the railway commenced in the 1970s and 1980s with developments at Warrender Crescent, Lochend Road and Brunt Place. A further phase of building commencing in 2001 has seen the completion of approximately 700 houses at Ashfield and within the old Lochend Estate and Hallhill area with two distributor road connections, Kellie Road and Brodie Road, on to Spott Road.
- 2.3 Hallhill South West is land sited to the south west of Lochend Woods and lies adjacent to the phase of house building completed in 2007 at Moray Avenue and Steadings Gardens off Brodie Road. The expansion of Dunbar and the allocation of Hallhill South West has required the review of education provision in the town and a new primary school is planned at a new site allocated in the local plan to the west of the Hallhill Healthy Living Centre.
- 2.4 A site adjacent to Hallhill South West is also allocated in the East Lothian Local Plan 2008 for housing development. This is Proposal H15a Lochend Hallhill in the local plan. It is allocated for approximately 130 houses and is expected to be developed in advance of Hallhill South West, as education capacity is available for that site. The development of the Hallhill South West land must integrate with this site, for which Taylor Wimpey have a current interest

Scottish Planning Policy

- 2.5 The Scottish Government's Scottish Planning Policy and Advice requires land and resources to be used efficiently and in the interests of sustainable development. Key policy objectives include planning for integrated transport, providing mixed use developments, and providing a full range and choice of housing types, forms, sizes and tenures. The Government also places great emphasis on improving the design of all new developments to reflect the character of the area in which the development is to be located, making new communities safer and more inclusive, and providing new residential streets which are both attractive and safe for all to use.
- 2.6 New housing development will produce mixed communities where opportunities to live, work and recreate are located side by side. This must be achieved at higher residential densities by designs that respond to the context and qualities of a site. New development will create positive relationships between buildings to produce a sense of place, identity and welcome, and to clearly define public and private space. It will be legible, adaptable, of a human scale and sustainable. Fundamental to this is a network of well connected, attractive and enclosed public spaces that are safe, pleasant, and easy to move around, especially by foot and cycle.
- 2.7 The Government Policy Statement for Scotland, Designing Places identifies the elements of the *'Design Tool kit'* and the sequence in which they must be applied. A Development Framework helps deliver planning policy requirements by setting out the main planning and design principles on which development of the site will be based. The subsequent Masterplan will conform to the Development Framework. This Development Framework sets development and design requirements for the housing land allocation at Hallhill South West along with a contextual analysis of the site and its surroundings. This approach is consistent with Planning advice Note 83 which advocates the use of masterplanning to develop sustainable communities.

3.0 THE VISION FOR HALLHILL SOUTH WEST

What sort of place will Hallhill South West become?

Hallhill South West will become a distinctive new housing area for Dunbar, close to but different in form and layout to recent housing development in the town. Responding to the characteristics of the site and integrating fully with the existing town, it will provide an extensive range of good, well designed and sustainable houses and apartments for a range of new residents. There will be a mix of tenures, housing densities and house types across the site but the housing layouts, road hierarchy and different groups of houses will be coordinated to ensure an overall unified development.

Houses will overlook streets, social interaction between residents will be encouraged by design and focal points, and landmark buildings and public spaces will give the development identity and a sense of place. Buildings and spaces along the main public routes from Brodie Road will define the new development by providing a recognisable, well designed and welcoming new townscape.

The development will be sustainable. It will provide safe, direct and high quality path and cycleway links to the town centre, schools, sports and health facilities and will permit a future bus service with stops placed at points to encourage residents to use public transport. Although connected to the town by road links to Spott Road and to the A1, residents will often find it quicker, as well as healthier, to walk and cycle within the town. Most children will want to cycle or walk to the primary schools: car access to drop off children to the school will be discouraged.

The site will be designed to be as energy efficient as possible in the use of materials, in its design and layout and it will incorporate on-site zero and low-carbon sources of energy equipment. It will be provided with a sustainable urban drainage system. It will allow access to Lochend Woods which will become community woodland allowing residents to enjoy the historic woodland as a green lung for the town.

Most streets in the new development will be home zones with a distinctive housing layout of people-friendly streets with traffic unable to exceed 10 mph. People as well as vehicles will actively use home zones. Private parking will not be directly in front of houses but will be directed towards dedicated parking and garage areas to ensure that the car does not dominate the development. It will be easy for the pedestrian or cyclist to get around the development and to connect with other areas. All streets will be connected to allow multiple route options. There will be very few, if any, culs-de-sac. Good design and layout will ensure that public spaces will be determined by the layout of new buildings and not by roads. Building layout and orientation will ensure public space is well defined from private and that a sense of place and welcome is created. Building design will take reference from local architectural character and tradition, with the emphasis on simplicity of style.

A network of linked public spaces will be provided throughout the site and will extend beyond the site into the woodland through provision of pathways. These will encourage the use of the woodland for informal recreation. Existing individual and groups of trees on the edges of the site will be retained and incorporated as key landscape components of the overall site layout.

4.0 CONTEXTUAL ANALYSIS

- 4.1 Dunbar has a current population of approximately 8,000. When Hallhill South West is completed it is expected to add some 1000-1200 additional residents. Those living there will be able to walk into the town centre (20-25 minutes/10-15 mins cycle) and to the primary and secondary schools that serve the town, all of which are nearby. Dunbar town centre has a full and varied range of shops and services including a health centre and library. Two supermarkets in the centre and one at Spott Road also serve the town and the sports centre at the Hallhill Healthy Living Centre and Belhaven Hospital are a short distance from the site. Dunbar Railway Station, which currently operates as a mainline station providing services to Edinburgh, Berwick on Tweed and further south on the East Coast Main Line lies a short walk from the site. Frequent bus services link Dunbar to Haddington, Edinburgh and Berwick on Tweed and a local town service operates around the town.
- 4.2 Hallhill South West is predominantly prime quality agricultural land located to the west of Lochend Woods and to the south of Dunbar approximately 100m north of the A1(T). It lies to the west of recent housing, and a site planned for further housing development, off Brodie Road which in turn connects with Spott Road and provides vehicle connection to the town centre and the Spott Road junction to the A1.
- 4.3 Adjacent to the western and southern boundary of the site lies an unclassified road that leads from the A1 to Beveridge Row at Belhaven where it connects with the A1087 on Edinburgh Road. To the north lies a private track between the house known as Kennelbrae at the north west corner of the site and Lochend Kennels which provides the access to Lochend Cottage and the converted steading at Hallhill from where vehicles are directed through the recent housing area at Moray Avenue to Brodie Road from where a main access to the site will be taken.

- 4.4 The site has two main landscape features, the sandstone boundary walls and the woodland at Lochend Woods. Within the site, the old local red sandstone boundary walls, up to 2m high, are of a type commonly found in the Lochend area and extend the full length of the western boundary. The wall also extends along the south boundary of the site and meets a shorter stretch of wall running north just beyond the eastern boundary.
- 4.5 The site has been part of Eweford farm for many years. Lochend Woods, a large irregularly shaped plantation, forms the backdrop to the site on the north eastern edge of the site. These woods were part of the former Lochend Estate and have been managed woodland since the 18th century, though many of the present trees (mostly sycamore and Scots Pine) are around 60 years old. The woodland provides a setting for the site, and the town, as well as recreational opportunities. Parts of the woodland are under the management of the Dunbar Community Woodland Group. Additional small groups of mature trees lie on the western and southern boundaries.
- 4.6 The site is gently rolling with its highest parts in the south west and generally slopes gently towards the east and north. A higher area lies in its mid to south part. Prevailing winds are from the west. Land in the north east corner close to the woods is wet and uncultivated. The site is part of the setting of Dunbar and is clearly visible from the A1. It has long distance views from the site to the south to Doon Hill and the Lammermuir Hills. Views are also obtained from parts of the site towards Traprain Law to the south west and to North Berwick Law and the Bass Rock to the north west.
- 4.7 Much of the immediate local architectural context is modern through provision of standard rather than bespoke house types where detached houses predominate. Some older estate properties such as the former Lochend Kennels remain in the area. The new development must create its own sense of place through provision of a full range and mix of new housing arranged on the site to surround new areas of public open space. The orientation of the layout should also maximise the potential for solar gain and take advantage of the views in and out from the site wherever possible.
- 4.8 The current crime profile of this area is below the East Lothian average. Nevertheless the design of the site must have regard to the potential for crime and ensure that it does not encourage anti social behaviour. Appendix 2 contains the crime profile figures for the local area.
- 4.9 Map 2 shows the wider context of the site within Dunbar and Map 3 shows the detailed context within the site.

5.0 ENVIRONMENTAL IMPACT ASSESSMENT

- 5.1 Hallhill South West will be developed primarily for housing. The proposed development could be considered to fall within Schedule 2 of the Environmental Impact Assessment (Scotland) Regulations 1999, specifically as an urban development project with an area greater than 0.5 hectares. However, the Council does not consider that the proposed development is likely to have significant environmental effects since it not a major development of more than local importance, it is not a development with unusually complex and potentially hazardous environmental effects, and it is not designated as a sensitive area or is so close to one that it might have an adverse impact.
- 5.2 Assessed against the criteria of the above Regulations, the Council concludes that there is no requirement for any planning application consistent with this Development Framework and with the site's allocation in the local plan to require an Environmental Impact Assessment.

6.0 DEVELOPMENT REQUIREMENTS

- 6.1 The provision of a sustainable and integrated expansion of Dunbar is the key aim for the development of Hallhill South West. It puts good design and layout – urban design, landscape design, street design architecture, sustainability and linked streets, paths and open spaces, at its core. This part of the framework looks at how a good layout will be achieved with the following part, Design Requirements looking in more detail at design. Reference should be made to Map 4 showing the principles of development on the site.

Movement

Internal and External Vehicular Access

- 6.2 The potential vehicle trip generation from 500 dwellings at Hallhill South West is considerable and will impact on traffic movement elsewhere within Dunbar. The developer must address this in a Transportation Assessment for the overall development consistent with '*Transport Assessment and Implementation: A Guide*'. Details of this will be agreed with the Council's Head of Transportation and Transport Scotland. This will take account both vehicular requirements and the main cycling and walking destinations within and outwith the site. The extent of road network identified for inclusion in the Transport Assessment includes the A1 and must include both the A1/U194 Eweford Hallhill junction and the Spott Road/A1 roundabout. The Transport assessment should also include a threshold assessment to identify whether the impact on the wider A1 requires to be considered.
- 6.3 The Transport Assessment must also take into account safe pedestrian and cycle access to schools under the Safer Routes to School programme. Changes to education provision in Dunbar (refer to paras 6.31 to 6.38) mean that the existing primary school on Countess Crescent will become a pre-school and primary 1-3 facility. A new primary school to be built south of the railway will serve p4-7 pupils. This will mean movements across the town to both primary schools and to the secondary.
- 6.4 Vehicular access to Hallhill South West will be by way of an extension westwards from Brodie Road, an existing distributor road that links the site via local plan Housing Proposal H15a to Spott Road and from there to the town centre. This will be a general access road of a type that can distribute traffic into the site and also permit direct access to houses positioned alongside it. This road should connect to a north to south route through the centre of the site and will require to be 6m wide and provided with footways on either side. The site must also be connected, via the former A1 road immediately to the south of the site, to the A1/Eweford Hallhill junction via its left in / left out junction (as shown indicatively on Map 4).
- 6.5 This junction will require some upgrading in the form of provision of longer acceleration and deceleration lanes. The work required is identified on Map 5. Transport Scotland has advised that the principle of upgrading this junction is acceptable and that the proposed layout detailed in Map 5 appears to generally comply with their technical requirements. Transport Scotland confirm that any land within the existing A1 boundary under their ownership would be made available to undertake the upgrading. The detailed design must comply fully with DMRB requirements and any trunk road works will require a Minute of agreement with Transport Scotland. As this work is a direct consequence of the development, the developer must pay the full cost of this junction improvement and any other improvements required to mitigate the impact of this development on the trunk road. Final arrangements for the trunk road junction will be subject to approval from Transport Scotland.
- 6.6 In the interests of permeability a vehicular link should also be made onto the narrow local road that forms the site's western boundary, extending between Beveridge Row

and to the A1. A suitable point lies approximately 200m to the north of the south-west corner at an existing break in the wall. These two accesses will allow vehicles exiting from the site and travelling to the west of Dunbar to have the option of using the A1 to the Spott Road roundabout, rather than Brodie Road to Spott Road and on to the same roundabout. This will help minimise additional traffic on Brodie Road. Indicative routes are shown on Map 4. provision of the road access will require the satisfactory improvement to this road from the point at which it accesses the site to where it meets the road to the south of the site. This is likely to require a passing place and to make provision for cyclists.

- 6.7 The Transport Assessment must take into account the effects of vehicular traffic originating from the site and its effect on road junctions at Spott Road and Belhaven Road and on the A1. The Dunbar Traffic Management and Environmental Improvements Study undertaken by Colin Buchanan and Partners in 2007 will be an important background document for the Transport Assessment. This study, and additional work commissioned from the consultants, identifies the volume and distribution of traffic on Spott Road to be a significant issue in planning for the Hallhill South West site. It has implications that must be addressed for the Spott Road / Queen's Road junction.
- 6.8 The site should also permit a potential future general access road extension to land immediately to the north of the site and west of the new p4-7 school site. The future use of this land will be considered as part of the next development plan review. The general access road must also connect with the existing unadopted road to Lochend Kennels which will be used as an emergency vehicle access to the site of the new primary school.
- 6.9 These access arrangements are the Council's minimum requirements. The landowner/developer has raised the potential for extending the distributor road from the northern site boundary eastwards past Lochend Kennels to link into the northern end of Kellie Road. Such a connection would create a loop road permitting a through route for a potential future bus service and would also offer greater permeability into the site. Transport Consultants Colin Buchanan and Partners, on behalf of East Lothian Council, have assessed the effects of such a road. They have advised that the net effect of distributing traffic beyond the site on such a loop road makes no significant difference to the volume of traffic using Spott Road and its junctions. The loop road principle therefore offers no particular traffic distribution advantage other than within the Hallhill area itself.
- 6.10 However, such a loop road would not encourage walking and cycling to the primary schools and, if passing close to the p4-7 school, would encourage children being brought by car. There is a very high level of cycling to the existing school and this is a trend that must be continued with the new school. A loop road could also compromise road safety by encouraging drop-off car parking along its length near the school. It would also introduce a road crossing hazard on the pedestrian and cycle routes to the new primary school / town centre and would incur further tree loss through Lochend Woods.
- 6.11 The Council does not consider the provision of such a loop road to be a necessary requirement of accessing the Hallhill South West site. The consultant's analysis has shown that the provision of a vehicular access from Brodie Road and a connection to the A1 to the south of the site are sufficient. Therefore, in addition to these required connections, the Council will only support the principle of a loop road link extending from the northern boundary of the Hallhill South West site eastwards to connect with Kellie Road if the following criteria are met:
- it can be routed sufficiently far from the new p4-7 primary school to discourage car borne trips and drop-off parking, and

- the Council is satisfied that any necessary tree loss within Lochend Woods is acceptable, is the minimum necessary and that areas of better tree quality are avoided, and
 - allowance is made for safe, pedestrian and cycle friendly crossing points.
- 6.12 The developer must also provide all identified off-site transport improvements required as a direct result of forecast flows from all modes of transport from Hallhill South West. This will include any improvements required to ensure safer routes to school for children from the site and any required additional access improvements identified at the schools.
- 6.13 An interconnected layout is required to maximise the ease of internal movement and route options for both vehicles and pedestrians and to provide a hierarchy of main, secondary and home zone streets. Culs-de-sac should be avoided wherever possible, as these do not permit a permeable layout. The design of streets should comply with the Council's '*Design Standards for New Housing Areas*' and the Council's '*Standards for Development Roads*'. The road hierarchy for the site will comprise a local distributor road forming a main vehicular thoroughfare through the site from Brodie Road to the northern boundary of the site with a connection to the adopted road to the south of the site, with general access roads and home zones. All roads will be designed in such a way as to reduce traffic speeds to the maximum permitted and residential streets designed as home zones will be designed for a maximum vehicle speed of no more than 10mph to ensure safe shared streets. Reduction in vehicle speeds will be achieved through the design of the street, the positioning of buildings, location of street furniture, tree and shrub planting and surface change rather than through traditional traffic calming measures. No home zone street should be further than a maximum of 400 metres from a road that is not a home zone. East Lothian Council will adopt all roads, including home zones, for future maintenance.

Path Network

- 6.14 The site layout must ensure that sufficient pedestrian and cycle paths are provided that encourage new residents to use them. The main pedestrian movements from the site will be to the proposed primary schools, to the town centre using the network of existing paths and cycleways, to the Hallhill Healthy Living Centre and to the railway station. Path connections to existing path networks in the area must also be provided. Some existing paths may require to be upgraded by the developer. All paths must be designed to encourage safe access on foot and cycle to the new p4-7 primary school for connection with the town centre and the P1-3 primary school. The movement strategy must address the movement of pedestrians and cyclists through the site and beyond to neighbouring housing areas and further afield to the schools, town centre and railway station. Existing paths are identified on Maps 2 and 3.
- 6.15 The new paths required to connect Hallhill South West, the adjacent site of Local Plan Housing Proposal H15a, and the site of the new primary school must be formed within the existing woodland. The Council will accept the felling of trees for this purpose as part of a planning application, provided that the general longer term maintenance of the woods is also secured. The Council requires that the woodland is protected and maintained in the longer term through a legal agreement with the developer. This may include the transfer of the woodland to a suitable group such as the Dunbar Community Woodland Group, who maintain other parts of Lochend Woods. Path routes must be selected to minimise the loss of the best tree specimens in accordance with BS5837:2005 '*Trees in relation to construction*'. Paths should be surfaced and lit to an adoptable standard and be 3m wide to accommodate both pedestrians and cycles, with a further cleared area of 1.5m on either side. Paths must also link to other local paths within the woodland. Where use of existing paths near the site is expected to increase as a direct result of the development then these paths must be upgraded by the developer to encourage safe use. East Lothian

Council will upgrade the path that links Lochend Cottage with Kellie Road to the required adoptable standard to serve the new primary school.

- 6.16 New path links must also be made from the site to connect with existing paths to the south and the road to the west. To encourage their use by the residents of the new community, all paths within the site should be on the most direct routes possible and should be lit and overlooked where possible by nearby buildings. Landscaping adjacent to footpaths should be low level and well maintained.

Public Transport Accessibility

- 6.17 The design and layout of the site must be able to accommodate a bus service to serve the new residents. Existing bus service routes are shown on Map 2. Unless the option of a loop road connection to Kellie Road is agreed (see paras 6.9 to 6.11), a loop or turning facility for buses must be provided within the site. Public transport should be able to be diverted into the site to provide a reasonable alternative to the use of the private car. Locations for potential future bus stops should be identified on the masterplan and the housing layout should be designed to ensure that no house should be more than 400m actual walking distance from a bus stop. Bus stops will be designed to allow access for all and will be provided by the developer.
- 6.18 Dunbar railway station is accessed by vehicle from Station Road on the north side of the railway. It has an extensive car park with further car and bike parking provision planned in 2009. Access by pedestrians and cycles is by way of the footpath to the north of Retreat Crescent and via an underpass to Countess Road. It is essential that the site is well connected to the local path network to encourage new residents to access the station. A study into the feasibility of providing a new southern platform at Dunbar rail station and an associated direct access to the southern platform from the south of the station is underway. Access to the train station should be considered in the Transport Assessment.
- 6.19 The existing private roads within the Lochend Estate that run along the north boundary of the site and from Lochend Cottage south and east past Hallhill Steading are identified as Core Paths. These are shown on Map 2.

Housing

Housing for Market Sale

- 6.20 Land is allocated at Hallhill South West for a total of 500 houses, of which 375 will be for market sale and 125 will be for affordable housing. Development of affordable and market housing should be developed at approximately the same time, though it is accepted that this may be subject to changing market conditions. There is growing demand for home working, teleworking, flexible space within houses or attached workshops that allow home based employment. Developers who wish to meet such demand on this site can consider house design that includes integral workspace provision.

Housing land take

- 6.21 Policy DP3 of the ELLP 2008 requires that a minimum average net housing density of 30 dwellings per hectare be achieved on this site. The distribution of housing densities across the site and the built forms required to achieve this will be described and illustrated in three dimensions by the masterplan, consistent with Policy DP5 and Section 7 below. The explanation of how the net density will be calculated is provided in the Glossary of the ELLP2008.

Land for Affordable Housing

- 6.22 The developer must provide as a minimum, sufficient serviced land for affordable housing at the rate of 25% of the total number of dwellings to be accommodated within the site. Based on a total of 500 houses, this will require serviced land capable of accommodating at least 125 affordable houses.
- 6.23 Affordable housing sites must be integrated with market housing. This is best achieved by ensuring that individual groups of affordable houses are approximately 30 units in size and that groups of affordable houses are distributed throughout the site rather than concentrated in any one area. Sites for affordable housing should in principle be located close to public transport and community facilities as residents are less likely to have access to private transport.
- 6.24 Provision of a variety of affordable house types and sizes based on housing need analysis of the area, as determined by the Director of Community Services will be required to provide and enable sustainable and diverse communities.
- 6.25 As a minimum, the design of affordable housing must comply both internally and externally with the "Basic" Housing for Varying Needs design criteria. Of these, 10% of dwellings in each development must comply with the Housing for Varying Needs design criteria specifically for wheelchair users. Affordable housing developments must achieve Secured by Design accreditation. Building materials and components should be considered for their maintenance lifecycle costs.
- 6.26 Areas of affordable housing must include public and private spaces, well integrated with those of the overall housing developments. These should be clearly defined and easily maintained. Developers must agree in advance the long term maintenance of areas of public open space with the Director of Community Services.
- 6.27 To achieve full integration of the affordable houses within the overall development, the Council's Community Housing and Property Management division must be directly involved in the preparation of the masterplan for the overall development. Contact details are provided in Appendix 6.
- 6.28 The East Lothian Council Local Housing Strategy requires 80% of the total number of affordable houses to be for social rent with the remainder being provided in the form of Low Cost Home Ownership (LCHO). Subsidy may be available for both social rented and LCHO accommodation though affordable housing provision must still be made where subsidy is not available. The Council's Community Housing and Property Management division will determine who the affordable housing providers are. Subsidy will not be made available to a Registered Social Landlord who is not a preferred partner. The Council will establish the type of affordable housing to come forward on the site as part of the masterplanning and design process, having regard to the level of subsidy available at the time when information is made available from relevant parties.
- 6.29 The Council's Community Housing and Property Management division will establish affordable housing needs in relation to house type and size required for the site and will identify social landlords able to undertake the work. The phasing of affordable housing development must be discussed with the Council in advance of the submission of the masterplan. Whilst there is some flexibility on when the affordable and market units come forward, indicative phasing and implementation, including infrastructure, is based on the following programme:

*Development Framework
Hallhill South West, Dunbar*

	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6
Audit Year	2011/12	2012/13	2013/14	2014/15	2015/16	2016/17
Market Housing	25	60	60	75	75	80
Affordable Housing		45	45	35		0
Total	25	105	105	110	75	80

Note: this programme assumes early availability of education capacity for Hallhill South West by August 2011. This may not be achievable. Reference should be made to the Education section, paras 6.33 to 6.36, for further details.

Housing Mix

- 6.30 A range and mix of housing types and sizes that contribute to the creation of a balanced community should be provided. Examples of house types that should be provided include detached, semi detached, terraced, courtyards and flats. The Council must be satisfied that the masterplan and subsequent planning applications provide a full range of house types and that the mix of houses types delivers a range of house sizes and tenures.

Education

Developer Contributions

- 6.31 Developer contributions are required towards the costs of the extensions to education buildings and sites that are a direct consequence of the total number of houses that come forward on the site. East Lothian Council will also make its own financial contribution towards permanent space provision where appropriate. The exact level and timing of contributions will be determined at the time of a planning application for the site and in pre-application discussions. This is consistent with Proposal ED2, *Dunbar Primary School*, Proposal H2, *Hallhill South West* and Policy INF3, *Infrastructure and Facilities Provision*, of the adopted East Lothian Local Plan 2008

Pre-school

- 6.32 Nursery classes serving Dunbar will be located at Dunbar Primary School in Countess Crescent which currently has a series of three pre-school elements in one permanent unit and two recently installed TU's (transportable units). The total pre-school space available in Dunbar Primary School as at December 2008 is 336 split between morning and afternoon sessions – 70/70, 38/38 and 60/60 = 168/168. Once the large birth year of March 2005 to February 2006 enters the P1 stage in the primary school in August 2009 there should be sufficient space in the nursery for pre-school children arising from the number of houses and annual completion rates shown in Draft Housing Land Audit 28 for Dunbar. Any change to these assumptions would necessitate a review of this position.

Primary school

- 6.33 In recent years there has been a significant level of house building in Dunbar with high annual completion rates. The numbers of houses and the annual completion rates have exceeded those assumed when the decision was taken to have a single campus centred at Dunbar Primary School on Countess Crescent. East Lothian Council has taken the decision to have two separate schools to serve the town. The existing primary school will accommodate the pre-school and primary 1 to primary 3 children. Accommodation for primary 4 to primary 7 children will be provided on a new school site south of the railway, to the north east of the Hallhill South West site. These actions are needed to accommodate those pupils already in the Council's 'place system'.
- 6.34 The p1-3 school will have sufficient capacity to accommodate the pupils from Hallhill South West. This is not currently the case with the proposed p4-7 school. Here, increased capacity to accommodate the pupils from this site requires funding by way of developer contributions. The Council has no provision in its capital programme to fund a school large enough to accommodate the additional p4-7 pupils from Hallhill South West. The Council and the prospective developer are in active discussion regarding the financial contributions required to ensure that the education infrastructure required as a direct consequence of this development can be secured in a way that will minimise disruption to the school build programme.
- 6.35 The Council must ensure there are sufficient school places provided to accommodate the immediate demands of the current pupil demographics, and for those other

developers who have already agreed financial contributions. The Council intends to have the p4-7 school open in August 2011. Accordingly, to achieve this, the Council's current specification for the p4-7 school does not provide capacity for the pupils that would arise from Hallhill South West.

- 6.36 The phasing of the house completions forms an integral and essential component as a matter for agreement with the Council's acting Director of Education and Children's Services. It remains open for the developer of Hallhill South West to agree with the Council an acceptable mechanism for funding additional capacity. Once in place, and subject to the school's procurement stage, the current contract for the p4-7 school could be amended to provide this capacity.

Secondary school

- 6.37 Secondary school provision will continue to be located at Dunbar Grammar School and this school is capable of planned permanent extension. Space issues will be addressed at Dunbar Grammar School on a phased basis by as many of the proposed housing developments as possible on a cumulative basis. The precise phasing will be to ensure that space is available for catchment area children. The timing of developer contributions would be the subject of pre-application discussions with developers once more precise figures of numbers of houses and phasing become known.
- 6.38 New or upgraded safer routes to schools for pupils walking and cycling must be provided by the developer.

Community Facilities

- 6.39 Many of Dunbar's community facilities are facing increased usage from the growing population of the town. To address this East Lothian Council plans the replacement of a number of disparate community facilities within Dunbar into a single multi purpose building. This is likely to include the library, youth centre, public contact point, scout hall and public toilets. The addition of further population at Hallhill South West places additional demand on these facilities and therefore the developer will be expected to make a contribution towards the proportionate costs of providing the accommodation for these facilities in the proposed new building. This will be secured by means of a section 75 agreement. This building has not yet been approved by East Lothian Council.

Provision of Public Open Space and Play Areas

- 6.40 The standards for open space and play provision are contained within Policies C1 Minimum Open Space Standard for New General Needs Housing Development and C2 Play Space Provision in New General Needs Housing Development of the East Lothian Local Plan 2008. These are contained in Appendix 3. Recreational areas of open space within the development will be well integrated and designed, easily accessible and meet the needs of all in the community. Hallhill South West is an extension to the built up area of Dunbar and must incorporate within its boundary all open space needs generated by the 500 houses within the site. A hierarchy of open space must be provided that responds to the context and qualities of the site making use of, for example, the views highlighted on the context maps and the woodland on the edge of the site.
- 6.41 The overall minimum open space requirements for Hallhill South West are 60m² per dwelling. The developers must provide suitably sized and designed equipped play facilities for toddlers, 5-10 year olds and teenage age groups, space for informal play such as ball games, and areas for passive use such as sitting and enjoying the amenity of the open space. Play areas must be provided within 200 metres (0-8 age group) and 400 metres (0-15) age group measured by foot from any of the houses the play area serves. To ensure that play needs are met, the location amount and

type of equipment, benches surfacing, layout and boundary treatment of play areas must be specified.

- 6.42 In addition, the developer must also provide for both a local (0.2 – 0.5 ha) and a town park (0.5 – 1.0ha) and civic space. The local and town park provision can be either on separate sites or as a connected or merged park provided it is of a size consistent with the policy requirements. It must be useable space and be accessible from surrounding development. Civic space is public space of clear amenity value that complements adjoining land uses and movement through them. The main route through the site, as the most visible and well used thoroughfare is a suitable location for well-designed civic space at suitable locations for example, at a Home Zone or path junction or where a view is opened up or framed by the orientation of buildings. High quality street furniture should be used to provide features such as stone walls, seating, paving, lighting and public art. It can also be a suitable location for avenue tree planting.
- 6.43 Public open spaces should be overlooked by built development and designed to minimise disturbance and nuisance to neighbours. A phased plan for the creation of the open space and play facilities will be required to ensure that there is adequate provision for each phase of new housing development. This will be agreed with ELC Landscape & Countryside in advance of final masterplan submission.
- 6.44 Local Plan Policies C1 and DP5 require that the public spaces be conceived together with the layout of buildings to ensure creation of an interesting and distinctive new housing area with a distinct sense of place and identity. Arrangements for the management and maintenance of all open spaces, including the landscaped parkland to the south of the ridge, must be put in place by the developer to the satisfaction of the Council.

Biodiversity and Natural Heritage

- 6.45 The East Lothian Biodiversity Habitat Plan for Urban Areas includes objectives to increase and enhance biodiversity throughout the urban landscape and to protect areas of habitat value not designated as formal wildlife sites. The developer must carry out a survey to establish the existing natural heritage of the site, the scope of which should be agreed with the Council. This will include legally protected species, Priority Species, and the extent of existing habitats. It may include Species of Conservation Concern or other items. Badgers are a known presence in the area and a badger survey must be included. Bat surveys are also likely to be required. A list of Priority Species is available in the East Lothian Biodiversity Action Plan, and a full list of Species of Conservation Concern is available from the Lothian Wildlife Information Centre.
- 6.46 The development of the site will affect existing natural arable, woodland and grassland habitats. However, the creation of areas of parkland and areas for sustainable urban drainage will also offer opportunities for new or enhanced habitat to support wildlife within the site. Lochend Woods is an area rich in biodiversity. A wildlife corridor should link the woods with peripheral habitats to permit wildlife to migrate through and beyond the site. Habitat enhancement can include woodland, scrub planting and the creation of grassland and wild flower meadows. The great majority of new planting should comprise trees and shrubs of local provenance. Plants can be selected that are beneficial to and support declining species such as bumblebees and butterflies.
- 6.47 The masterplan must demonstrate that opportunities to create and improve habitats and provide a wildlife corridor within the development that allows wildlife to move through the site and to link with landscapes and habitats beyond its boundaries have been taken and give direction as to how SUDS features, wildlife corridors, open space and amenity areas will be integrated.

Drainage and Water Supply

- 6.48 The masterplan submission must satisfy necessary water and drainage requirements of the development to the satisfaction of the Council, Scottish Water (SW) and the Scottish Environmental Protection Agency (SEPA). The recently opened Dunbar Waste Water Treatment Works has capacity to support the level of new housing arising from the site. Adequate on and off site sewer infrastructure must be in place before the commencement of development. Required sewer infrastructure will be provided at developer expense.
- 6.49 The surface water runoff from the development must be drained on a separate system discharging to a suitable outlet via sustainable urban drainage systems (SUDS) to the satisfaction of Scottish Water, SEPA and the Council. A suitable outlet is the nearest watercourse or surface water sewer rather than a combined sewer which should be avoided. For large scale residential developments such as this, two levels of SUDS treatment will be required for all hardstanding areas, and service roads. Adequate space to accommodate SUDS should be safeguarded in the site layout, ensuring that it is located outwith the functional flood plain. Surface water must be treated by means of integrated surface water drainage systems serving the expansion as a whole. This will require provision of regional surface water drainage systems in the form of ponds and wetlands to treat and attenuate flow from the site. The management of surface water drainage can involve attractive and vegetated systems that are integrated with the built environment and can help connect and be a part of open spaces. The masterplan must give direction to such a SUDS strategy. SUDS must restrict post development runoff to pre-development levels. This would be in addition to any SEPA water quality treatment requirements.
- 6.50 The specification of drainage system must comply with the surface water 'Management Train' approach as advocated in CIRIA C697 'The SUDS Manual'. The developer must maximise the use of source control measures, such as road side swales and porous parking areas etc. Best practice advice is available from the SEPA publications '*Ponds Pools and Lochans*', from the '*Environmental Action Plan for the South East Wedge*' published by SISTech and in '*Sewers for Scotland 2*' (Scottish Water) and reference should also be made to the 'SUDS for Roads' consultation document for further guidance. Drainage and water supply improvements as a result of site development must be provided at developer expense.

Flood Risk

- 6.51 To determine if development on the site or any part of the site would be at risk of flooding or increase the risk of flooding elsewhere the developer must carry out a flood risk assessment of the site. This should be incorporated into the masterplan submission with parameters agreed between the developer, SEPA and East Lothian Council in advance. The flood risk assessment must be undertaken in accordance with SEPA technical guidance.

Waste

- 6.52 The developer must make adequate provision for the separation and recycling of waste. This must include provision for private occupants of the development area. The masterplan must indicate suitable sites for such facilities and the nature of the facilities to be provided. Currently ELC operates a kerbside collection for wheeled bins with each dwelling being issued with 2 x 240 litre wheeled bins. Access to the kerbside collection points must be suitable for a 26 tonne HGV Refuse Collection vehicle. Sufficient room to accommodate 3 x 240 litre wheeled bins or 2 x 240 litre wheeled bins and two kerbside boxes at the side or rear of each property should be provided. A 240 litre wheeled bin is 580mm deep x 740mm long x 1100mm high.

Noise

- 6.53 A noise assessment will be required for the Hallhill South West site. It will provide a baseline noise survey and an assessment of the area for residential development, consistent with PAN 56 Noise Exposure Categories. It will focus on noise generated by road traffic on the A1 and by the East Coast Main Line. The masterplan will detail any necessary noise mitigation requirements, including those relating to design, materials, layout and landscaping of development. These may need to be location specific and must ensure satisfactory internal and external noise levels. Any required noise attenuation measures must be integrated sensitively into the landscape.

Archaeology

- 6.54 Although there are no scheduled ancient monuments within the site there is potential for archaeological sites to be present within the site. There is a known area of archaeological interest at the north-west corner of the adjacent site, Local Plan Housing Proposal H15a, Lochend Hallhill, which may extend into the Hallhill South West site. A scheduled ancient monument exists at Eweford Cottages not far from the south west corner of the site. This could be affected by junction works required to access the A1(T). These are identified on the site context maps. An archaeological field evaluation of the Hallhill South West site must therefore be provided by the developer. This will provide sufficient information to allow East Lothian Council to make an informed decision on appropriate measures to ensure the protection of any identified archaeological remains on the site.

Percent for Art

- 6.55 As a development that will have a significant presence, appropriate artwork must be provided for within Hallhill South West in conformity with local plan policy. This can be done either as an integral part of the overall design or as related commissions that are well integrated into the proposed development.

7.0 DESIGN REQUIREMENTS

- 7.1 This section addresses the requirements that will contribute to producing a good design and layout for Hallhill South West, including the urban form, housing density and landscaping. Reference should be made to Map 4 which shows the principles of development on the site.
- 7.2 The entire Hallhill South West site must be properly planned for from the outset with an urban design strategy that will ensure a cohesive built environment. The masterplan must describe and illustrate the three-dimensional urban form for the site. The design strategy must produce a layout that is easily understood and easy to navigate through, one that creates focal points (buildings or views) within the site. As a predominantly single use development there is no area of activity to focus the development on, but the extent and positioning of open space ought to provide a distinctive place and a focus for leisure and play activity. The site layout identified in the masterplan must be sufficiently clear for different developers to be able to develop parts of the site within a coherent overall layout and design. The Council would support the preparation of a design code to identify how this will be achieved.
- 7.3 '*Design Standards for New Housing Areas*' outlines East Lothian Council's guidance on designing an urban form and illustrates the principles that must be adopted on the site. These standards will guide the preparation of the masterplan and must be followed by all developers of the site.
- 7.4 In summary the new urban form for Hallhill South West should:
- be legible, that is easily understood and navigated through
 - be connected by a grid of movement routes designed to encourage their use

- provide an interesting and distinctive environment that uses the site topography to create a sense of place that relates to the views within and out of the site
- define public from private space and protect private space using a perimeter of buildings around each development block
- ensure public spaces are overlooked
- position buildings at the perimeter (or edge) of development blocks to enclose and define public from private space
- orientate buildings to face the street to maximise the active frontage to public space
- create character areas within the overall site
- provide enclosed public space through use of continuous built frontage that avoids space visually leaking away between buildings
- minimise the visual impact of the car
- maximise the provision of home zones
- be designed to meet the minimum requirements of SPP6

The Urban Form

Key Principles

7.5 The urban form is the landscape treatment and development layout (the urban structure and framework of plot subdivision), density and land use mix, the size, massing, proportion and scale of buildings/building groups, and the materials and colours proposed. The masterplan must describe and illustrate the three-dimensional urban form of Hallhill South West. The key principles to be applied to the design and layout are:

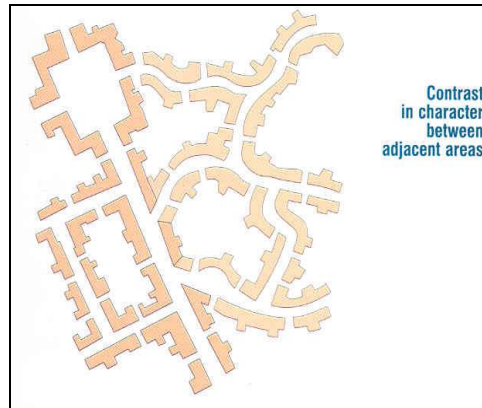
- Creation of strongly defined street frontages
- Clear definition of public and private open space, and protection of private space
- Use of courtyards and development in the form of perimeter blocks to create residential streets
- Creation of focal points using views, buildings or landscaping
- Provision of strong, well defined and thought out edges to the development where public views of the development are most important
- Provision of direct movement routes and well connected linkages
- Incorporation of Homezones across the site (see ELC: Design Standards for New Residential Streets)

Streets and Frontages

7.6 Buildings must be positioned to create well-defined street frontages. Other than in exceptional circumstances where the layout or particular building type does not permit, buildings should be orientated to face the street. A strong street frontage that produces a sense of enclosure will be achieved by the orientation and design of the buildings. Buildings that have an appearance of being randomly spread along a road will not be acceptable. Streets will provide serial views through the site. The use of terraces, courtyards and associated enclosures is supported. As culs-de-sac prevent permeable layouts their use should be avoided. The completed development must have an overall unity of form and appearance: this should not be achieved by rows of the same houses but by careful design.

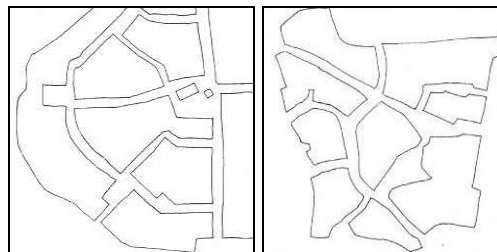
7.7 The building layout should define a framework of interesting and welcoming public spaces. Perimeter buildings of development blocks must be positioned to enclose and clearly define public from private space and be positioned to give form to, overlook and present active frontages to the public spaces and thoroughfares between them. Along key linear routes the urban structure will create routes that curve, taper, widen, narrow and change direction. A strong street frontage should define the main route through the site. Perimeter buildings will complement this and

be arranged to create a sequence of public spaces and views, which finish at, or feature, focal points in the development. This will help provide a sense of place and welcome and help people to find their way around. A development of this scale should provide a range of character areas, identified on the masterplan with three dimensional design concepts, to provide a choice of housing environments and create areas with their own identity. These should relate to any physical characteristics of their part of the site.



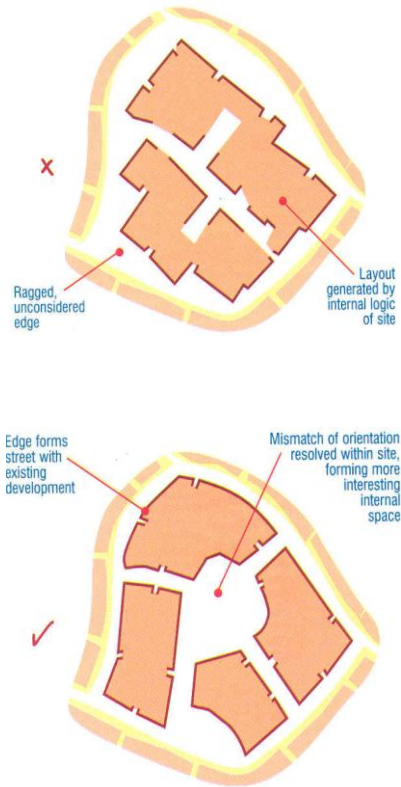
The layout of development

- 7.8 To produce a sense of place the new development must respond to the contextual analysis of the site and the landscape framework. It will be ordered and understandable, creating focal points in the site. The focal points can be the public spaces, viewpoints and areas formed by new development. The inter-connected layout of streets will define the smaller areas for development. The layout of buildings should produce an interesting and distinctive environment where the principal routes, curve, taper, widen, narrow and change direction in addition to punctuating and closing views and overlooking public space.
- 7.9 Buildings at the perimeter/edge of development blocks should be positioned to enclose and clearly define public from private space, and orientated to articulate, overlook and present active frontages to the public spaces and thoroughfares between them. Along the principal routes perimeter buildings should create a sequence of public spaces and views, which finish at, or feature, focal points in the development. This will help establish the sense of place and help people to find their way around.



- 7.10 The developer must demonstrate to the satisfaction of the Council that all development blocks are big enough to accommodate the development proposed for them. This will require the masterplan to illustrate an indicative framework of plot subdivisions for each block.
- 7.11 The judgment on how to arrange buildings on the development blocks must therefore be taken with a vision of how the buildings of each development block will integrate

with and complement those of the next. Only by giving direction to this can the masterplan create the design strategy for the whole site and be capable of coordinating the procurement of a cohesive and understandable urban expansion of the town. The masterplan must therefore establish a vision for how the edge buildings will relate to one another and the public spaces between them across the entire expansion area, consistent with the hierarchy and character of public spaces proposed.



- 7.12 The masterplan must establish parameters to ensure such a cohesive built environment will be produced. It will illustrate the indicative perimeter building lines for each development block to ensure the spatial relationship between buildings and public space is conceived together. The masterplan will then be used to control this relationship as phased development proceeds.

Landscaping and Urban Edge Treatment

- 7.13 A landscape framework must be developed for the site that integrates the development into the surrounding landscape; ensures attractive and robust new urban southern and western edges; and provides an attractive setting for the town. The site was formerly part of the Lochend Estate which was a designed landscape and the woodland in particular has occupied its location for around 200 years. Although not included in the national Inventory of Gardens and Designed Landscapes the estate is still of more local interest and its landscape structure should be enhanced with additional tree planting as part of the landscape framework. This planting will offset the loss of trees to create the required path network and integrate with existing planted areas around the site.
- 7.14 The western and southern boundaries will be the new landscaped edges that will form the long term future setting of Dunbar. Clearly visible from the A1 and from land to the south of the town, these boundaries should integrate existing landscape features with new areas of planting and path links to create a new edge to Dunbar. The boundary landscaping should provide a landscaped boundary that allows views into and out of the new development, filtered by planted areas that will in time soften

the hard edge of the new development. It will contain groupings of trees and shrubs and will incorporate and integrate the existing mature trees on the western and southern boundaries into the overall layout, for example within an area of open space. The landscape design will continue to allow views of the Lammermuirs to the south, the Bass Rock and North Berwick Law to the north west and the trees of Lochend Woods.

- 7.15 The northern edge of the site should provide a landscaped edge that extends Lochend Woods and provides a visual link to the western edge of the site where existing trees can be supplemented with new planting. The eastern edges of the site must integrate with the adjacent H15a housing site and at the north east edge of the site, a low wet area may offer potential for a SUDS area with associated open space and new planting to integrate with Lochend Woods.
- 7.16 An existing established and attractive landscape feature of the site is the old estate walls on the western and southern boundaries of the site. These must be retained and repaired where required and integrated with the development. Where a new boundary is required in a public area, for example, within areas of public open space, the use of red sandstone walling, rather than introducing a new element, would help to integrate the site into its surroundings, further enhancing its sense of place. Where gateways at entrances to the site are required stone gate piers of a type commonly used to demarcate field entrances in the wider area should be provided.
- 7.17 The landscape framework for the site must include details of treatments and species to be used at the site boundaries, at key urban edges within the site and at the public open spaces and play areas. Landscape treatment in streets within the site including home zones must comply with the guidance in Design Standards for New Housing Areas. The landscape structure should provide an attractive setting for all new buildings, and help create continuity in character between the areas of different development density and building type and ensure public spaces are properly enclosed. Further requirements of the landscape structure will be to provide proper definition of house plots from public space using plot frontage planting; to provide low level screening for parked cars, where appropriate; and to complement streets and footpaths by providing planting alongside these.
- 7.18 Within the site the landscape framework must provide for a series of areas of public open space linked by a path network and providing links to the woods. The framework should also allow for accommodating views in and out of the site. Dependant upon the extent of ground levelling works proposed, the south central part of the site, currently at a raised level compared with the rest of the site, may be more suited to public open space than built development. In contrast to areas of more recent housing near the site, where there is little public open space within the housing areas, areas of public open space within Hallhill South West should help to define its sense of place and character by breaking up areas of continuous built development to create both formal and informal open space.
- 7.19 The masterplan must include information on landscape treatment at site boundaries, at key urban edges and at public open spaces and focal points. The long distance views from the site out towards the Lammermuirs and to the area's landmarks should be accommodated within the layout to create a sense of place. The woodland edges provide an attractive backdrop to the site and provide a visual link to the heritage of the area. The layout should also allow for views of the woodland rather than have back gardens positioned up to their edge.

Housing Design

- 7.20 As a general principle, building heights should not exceed two storeys unless in isolated or exceptional instances where taller elements may be used as elements of urban design that act, for example, as a focal point within the overall layout. The masterplan must describe and illustrate the proposed urban form, which is the three-

dimensional physical characteristic of the layout for the site. This must include sections through the development to illustrate development height in relation to topography. It must include both the landscape treatment and development layout (the urban structure and the urban grain), the development density and the size, massing, proportion and scale of buildings and groups of buildings (the built form typologies), and details of materials to be used. The masterplan will therefore clearly identify how any taller buildings fit in to the layout without detriment to the overall landscape character of the site and the surrounding area. The masterplan should show the building heights for each development block.

- 7.21 A range of building types, for example, perimeter blocks, courtyards, terraces, mews and lanes, should be used throughout the layout. These must be designed, positioned and arranged to complement one another across the entire site and to create a cohesive built environment. Successful combinations of built form typologies will result in well overlooked public spaces where a need for the artificial definition of public and private space, such as fences / walls, is minimised.
- 7.22 The design of new houses and flats should *reflect* the form, massing, features, fenestration, scale, and simplicity of finish as well as the vertical emphasis common to existing vernacular buildings in East Lothian. Designs must provide a fresh, contemporary and progressive addition to East Lothian's vernacular architectural character. It is not the intention of this framework to be prescriptive in terms of the architecture but for the purposes of illustration examples that might *reflect* vernacular architecture include houses with pitched roofs, skews, dormers, harled walls, black rainwater goods and slate roof dressings. These features combined with a limited range of contemporary modern materials might ensure development of distinctive modern dwellings but with clear design roots in local architecture. As a general guide, houses that present a simple, easily understood, design with the minimum of fussy, or over elaborate architectural detail will be more appropriate for the site than houses that embody architectural detailing that has no relationship to this part of Scotland.
- 7.23 Where external render is used its colour must be carefully considered in relation to both the individual house, neighbouring buildings and how it fits within the wider landscape setting of this visible site. There should not, for example, be a predominance of white coloured walls which would not fit well into the wider local landscape. The aim should be to use colour and shade as a part of the overall design to emphasise groupings of buildings, rather than individual builders or specific house types. Colours should be considered at an early stage in the design process. Whole groups of houses/buildings should not be of a uniform colour, unless required to emphasise a focal point building. Instead a range of colours taken from a complementary palette of colours must be used. Colours can take reference from traditional colours and shades used in the surrounding countryside, rather than those used in the recent modern housing to the east of the site.

Defining plot boundaries

- 7.24 Hedges / walls must be used to define areas of private space from public space, such as at the end of a row of houses or at the street side edge of a courtyard where one side of a rear garden adjoins public space. Such lengths of wall / hedge etc must be minimised to ensure that the active frontage to public space is maximised. The use of timber board fencing will only be acceptable to define areas of private space from one another.

Housing Density

- 7.25 To make the most efficient use of land, and to allow for a range and mix of different house types at Hallhill South West, density should be controlled. Policy DP3 of the East Lothian Local Plan 2008 requires a minimum average density of 30 dwellings per hectare (net) across the site. However, the objective is not to create a uniform

density of built form across the site, instead variation in density should occur in different development areas across the site. Density should be used as an element of design to highlight or frame key views, emphasise and articulate key nodes, routes, corners and junctions; to enclose open spaces with continuous built frontages and appropriate building heights; and to increase activity around transport routes. As a guide, developments in adjacent recent housing areas are below the target density. A range of densities across all tenure groups using a variety of development forms must be provided.

- 7.26 In higher density parts of the development continuous built frontage and complementary landscaping should be used. Where lower density is planned, buildings may be more dispersed, landscape treatment, including trees, hedges, walls and railings will be used to define public space, and thereby retain continuity and enclosure. Hard and soft landscaping in plots should be used to prevent space visually leaking away between buildings.

Parking Provision

- 7.27 Parking is required to be provided in accordance with East Lothian Local Plan 2008 Policy DP22 Private Parking and accord with the adopted parking standards contained in Part 5 of the Council's Standards for Development Roads. These are contained in Appendix 5. One of the overarching principals behind the design of this development is to minimise the visual intrusion of the car. Parking should therefore be provided to the side or rear of houses or in parking courts.

Inclusive Design

- 7.28 The overall design and layout must also be safe and respond to the requirements of PAN 78 Inclusive Design. This means that the new development must be designed to be an inclusive environment which can be used by all and meet the requirements of the Disability Discrimination Act 2005. This includes not just the buildings but the whole external environment including parks and public spaces. The masterplan must be able to demonstrate that the overall plan for the site has been designed with inclusive design principles in mind by, for example, considering potential users including disabled people. It is not a requirement that every house provided at Hallhill South West must be inclusive but it is a requirement to demonstrate that the overall design and layout is as inclusive as possible and has been deliberately designed to embrace inclusive design principles.
- 7.29 Developers must therefore demonstrate how inclusive design has been factored into their proposed development. This will be a material consideration in the assessment of planning applications. These should be accompanied by an Access Statement, preferably as part of the required Design Statement, demonstrating how the applicant's proposal will address inclusive design issues.

Safety

- 7.30 PAN 77 Designing Safer Places requires that the local crime characteristics of an area are considered in the design of a site to enable a better design solution. Among the general rules in planning for safer communities that must be followed at Hallhill South West is the need to ensure that buildings are orientated to overlook footpaths and public spaces to encourage natural surveillance. Access to rear garden areas should only be for those occupiers who have a need for access.

8.0 SUSTAINABLE DEVELOPMENT AND ENERGY EFFICIENCY

- 8.1 The Planning etc. (Scotland) Act 2006 places the principles of sustainable development at the heart of the plan-making and development process. This Development Framework address this through its requirement for high quality design, safe interconnected movement, accessibility, enhanced biodiversity and the provision

of affordable housing and a range of house types and sizes. However, sustainable development is about more than just how land is developed.

- 8.2 The Scottish Executive's sustainable development strategy "Choosing Our Future" (2005) recognises that design, construction and maintenance of the built environment provide significant opportunities to contribute to a more sustainable future. SPP6 Renewable Energy (2007) advises that a key role of the planning system will be to support a move towards new low and zero carbon developments through the use of energy efficient, micro generating and decentralised renewable energy systems, so that carbon reductions are considered and secured at the design stage of projects.
- 8.3 Consequently, the layout, design and construction of development at Hallhill South West must maximise sustainable energy options. Consistent with SPP6, all development must incorporate on-site zero and low carbon equipment contributing at least an extra 15% reduction in CO₂ emissions beyond the 2007 Building Standards CO₂ standard. Only where it is demonstrated that technical constraints prevent this can an exemption from this on-site requirement be made.
- 8.4 With a development of this scale, developers should therefore examine the practicality of using a district heating scheme or combined heat and power plant. At the individual building level it should be demonstrated, as far as reasonably practicable, that buildings maximise energy efficiency. Consistent with achieving a well-designed layout, the number of buildings orientated to take advantage of solar gain should be maximised. Overshadowing should be avoided and consideration given to increased glazed areas on south facing elevations. Other means of achieving reduced CO₂ emissions might include use of the following technologies provided that they can be used in ways that fit with the overall cohesive built environment:
- ground source heat pumps
 - passive heating
 - low emissivity, thermally efficient double glazing
 - solar / photovoltaic panels
 - thermal panels
 - wind energy
- 8.5 Subject to achieving a layout and urban form that is consistent with the design principles of this Development Framework, all housing should be oriented to take advantage of solar gain (in habitable rooms), shelter and daylight penetration.
- 8.6 The reduction, re-use and recycling of construction materials should be maximised, including in the construction of roads, footways and pathways and the sourcing of materials for landscape boundary treatment.

9.0 IMPLEMENTATION

- 9.1 Development at Hallhill South West will place increased demand on community facilities and infrastructure in and around Dunbar. The Council will require the developer to enter into a legal agreement to ensure procurement and satisfactory phasing and timing for delivery of all infrastructure and other requirements associated with this development. The legal agreement will set out the phasing and timing of development, and establish a sequence of trigger points to ensure infrastructure, community facilities and amenities are developed timeously and simultaneously with the full range of house types, sizes and tenures, including affordable housing. Successful site development will be dependent on the phased provision of infrastructure and services including roads, drainage and gas services.
- 9.2 The provision of infrastructure must comply with the policy framework of the Edinburgh & the Lothians Structure Plan 2015, in particular Policies HOU5 and IMP4, paragraph 4.14 of the Edinburgh and the Lothian Structure Plan 2015 Action Plan and Policy INF3 of the Finalised East Lothian Local Plan 2005. The Council will

ensure the legal agreement is in place prior to approving any planning permission for all or part of the land.

- 9.3 The final masterplan will include a detailed delivery schedule outlining the timing and scale of development. This will include projected house completion rates for both market and affordable housing, transportation matters, drainage, recreational facilities, landscaping and public open space. This schedule must be agreed in advance of final masterplan submission with East Lothian Council. Such matters may be secured through the use of Section 75 legal agreements where required.
- 9.4 It may be necessary for the legal agreement to be location specific for certain elements of the proposals, for example, regarding the provision of access to, and the timing and phasing of, the transfer of serviced land for affordable housing to the Council. The legal agreement must also ensure access to the areas of land for affordable housing development will be provided and mitigate any opportunity for ransom strips to be created.
- 9.5 It is currently anticipated that the private market housing output will be up to 75 units per year. The locations for groups of affordable housing must be agreed during the preparation of the master plan with ELC Community Services.
- 9.6 Phasing of onsite and offsite recreational provision and improvements must be identified and specified in the final masterplan. Details of these matters must be agreed with ELC Community Services.
- 9.7 All onsite and offsite traffic improvements, including timing of public transport provision, must be agreed with ELC Transportation and specified in the Transportation Assessment and/or masterplan.

10.0 MASTERPLAN OUTPUTS

- 10.1 Hallhill South West will be developed over a period of years and may be undertaken by different developers. The masterplan must establish a robust three-dimensional design strategy to co-ordinate future detailed planning applications for the entire allocated site and to ensure consistency of design. As *Designing Places* states, masterplans must describe and illustrate proposals in three dimensions, establishing the vision for the place and how it will be realised, setting out the phasing, timing and basic economic assumptions of development. This is to ensure development can be delivered in the planning, design and commercial context, and also to provide the basis for the legal agreement. The masterplan documents will convey the level of information necessary to give the context, clarity and certainty to inform and control all future planning applications for the entire allocated site, consistent with Policy DP5 of the East Lothian Local Plan 2005 as included in Appendix 4.
- 10.2 As a minimum therefore, the masterplan must describe and illustrate the following:
- how the landscape framework and urban structure integrate with and respond to, the landscape, landform and urban form of the area;
 - how key public views across, to and from the site and to surrounding landmarks will be conserved and, where possible, incorporated into principal public spaces in the development;
 - the locations for the variety of development densities in the range and the land uses and development height across the entire site;
 - a well connected movement framework for the entire site that supports the full range of access requirements, establishing points of access to the site and

between all development areas, including alignments for the main streets, home zones, safer routes to school, and dedicated pedestrian and cyclist routes;

- the network and hierarchy of principal civic and parkland public open space conceived together with the layout of buildings;
- the building lines, orientations and aspects of perimeter buildings at the edges of development areas that create the intended public spaces;
- the arrangement, capacity, size and shape of all individual development areas and the framework of plot subdivisions in each of these;
- design concepts for each character area, including indicative building designs, heights and the typical streetscapes, and the palette of materials and colours to be used in each;
- the landscape treatment of significant edges in the development, including those at main public spaces and along the north west and southern boundaries;
- principal locations for landscape treatment including nodes, open spaces and the areas where public activity is to be focussed;
- three dimensional design concepts, including cross sections and axonometric views of the different character areas and public spaces including illustrations of the sequence of public spaces and views created.
- the building lines, orientations and aspects of perimeter buildings at the edges of development areas that create the intended public spaces;

10.3 The Masterplan must also include the following:

- Phasing plan for delivery of parcels of development
- Phasing plan for delivery of on and off site infrastructure required for the development
- Transport Assessment that supports the site access details shown on the layout and the necessary off site works required to ensure road safety and accommodate additional traffic generated by the development on the surrounding road network.
- Flood Risk Assessment and any identified on or off site requirements to mitigate flood risk.
- A detailed plan of public access across the site (existing, during construction and on completion) prepared with the Council Access Officer.

11.0 PLANNING APPLICATIONS

11.1 Planning permission will only be granted for developments that comply with the approved Development Framework and a masterplan agreed by East Lothian Council.

11.2 A masterplan, covering the development of the entire allocated site, must be submitted at the time of an outline or full planning application for the site. The masterplan should be the subject of pre-application discussion and can be approved in advance to help minimise any delay during the processing of the planning application. During the course of its preparation all landowners and developers with options on any parts of the site, together with East Lothian Council's Community Services (for the affordable housing) must be involved. A Design Statement consistent with the principles of PAN 68: Design Statements must accompany the masterplan. The submitted Design Statement must state how it complies with the approved masterplan.

- 11.3 Both must relate to the whole of the allocated site and be submitted prior to, or as part of, a planning application for outline or full planning permission. They will conform to this Development Framework, to the land-use policy framework of the Local Plan and to the Council Design Standards for New Housing Areas, and will observe the principles of the Scottish Executive publication 'Designing Places'. They should also be informed by, and be consistent with, the advice given in Planning Advice Notes 36: Siting and Design of New Housing in the Countryside, PAN44 (Fitting New Housing Development into the Countryside), PAN67 (Housing Quality), PAN68 (Design Statements) and the most up to date East Lothian Council 'Standards for Development Roads' or equivalent document. It is recommended that developers discuss the content of these with planning and transportation officials prior to its completion.
- 11.4 Details of how the development of the site will be phased are also required. Phasing will be wholly dependent on agreement between developers and East Lothian Council on all aspects of development including site infrastructure and path connections. Phasing will include market and affordable housing.
- 11.5 The development boundary is delineated in the East Lothian Local Plan 2008 by the extent of the allocated area, Proposal H3 Hallhill South West as shown on Map 1.
- 11.6 An outline or full application will cover the entire site area in order to secure through associated legal agreement the necessary developer contributions.

LIST OF MAPS

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APPENDIX 1

Site Context

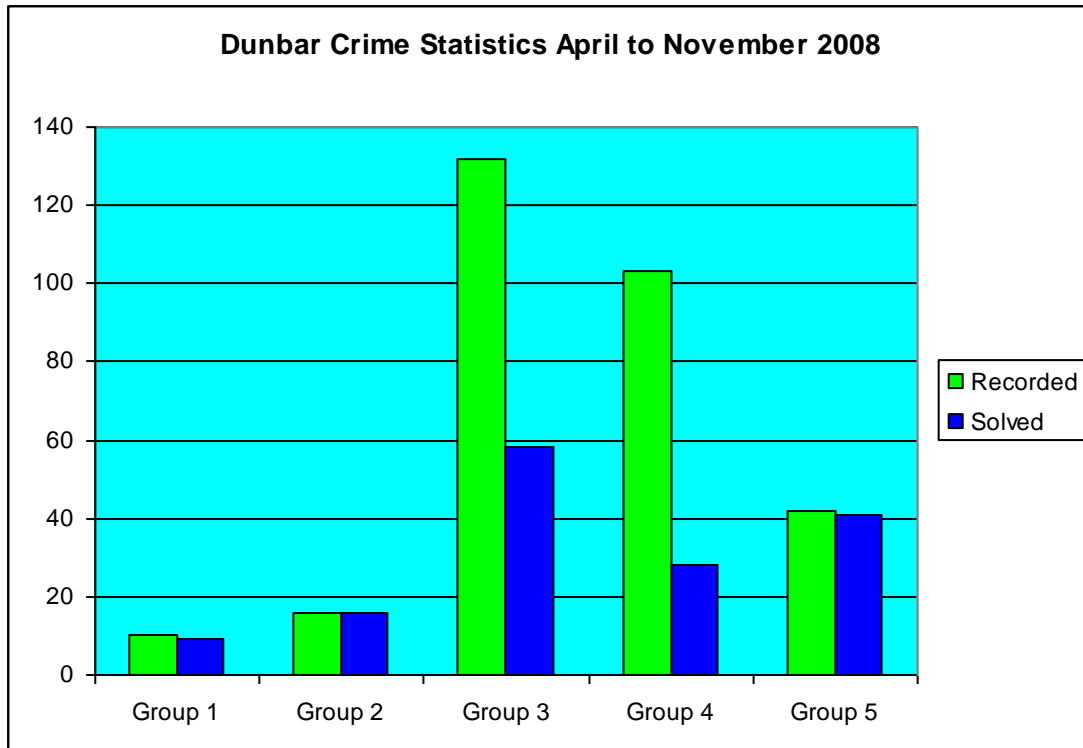
Site Analysis Table

Key Features of Hallhill South West	
Landform	Undulating. High point 24m AOD. Rest of site ranges from 17m to 21m AOD
Landscape setting	Visible edge of town site positioned between key road and rail strategic transport routes; mature woods form backdrop to site; Very visible from higher land to south. Seen in association with other recent housing development.
Landscape character	Countryside on edge of town. Woodland is a significant feature. Locally stone walls are significant feature. Few trees on site.
Public views	Extensive long range views of site from south and west. No significant views from East or North. General views from the site to Doon Hill and Spot Dod and beyond to the Lammermuir Hills to the south. Landmark views to Traprain Law to SW, North Berwick Law and Bass Rock to NW and to Dunbar Parish Church.
Biodiversity	No recorded species of note
Access & Transport	Rail station 800m to north east. Nearest Bus services on Brodie Road. Vehicle access points not currently available on public roads.
Known constraints	Area of wet boggy ground to north east. Education infrastructure is a constraint to future development. Archaeology adjacent to site
Size	20 ha
Slope	South to north east
Landform	Undulating agricultural land. Some evidence of spoil/made up ground to south and east
Boundaries	Stone walls to south and west. Woods to north east. Adjacent to development site to east.
Public Usage	Not currently. Opportunities for recreational use through woods which are extensively used.
Flooding	Some limited potential. Flood risk assessment required
Crime	Low
Other planned development in the area	Site H15a adjacent to east allocated for approximately 130 houses. Lead developer Taylor Wimpey. New primary school to north east of site.

APPENDIX 2

Crime Profile – Dunbar – East Lothian

The following report details the various types of crimes recorded by Lothian and Borders Police in Dunbar, East Lothian. Dunbar is situated at the eastern edge of the county adjacent to the main A1 roadway. A local police station is situated in the centre of the town and plans are in place to have the town centre area covered by a monitored CCTV system by late 2009.



Group 1 – Crimes of Violence – Murder, Serious Assault, Robbery etc.

Generally speaking there are very few recorded crimes of violence and most of those take place in the centre of the town and are alcohol related. Between the dates shown 10 crimes of violence were recorded with 9 of these being solved by police. Primarily these crimes related to assaults. There were no similar crimes in the areas currently being developed.

Group 2 – Crimes of a Sexual nature – Rape, Indecent Assault etc.

Again the levels of crimes recorded in this area are low and during the months stated police achieved a 100% solvency rate in this area. Generally these cases relate to historical abuse and therefore have no real bearing on the continued development in the area. A single rape was recorded during this period and while this had no connection to the developing area it is obviously prudent for developers to ensure that adequate lighting is provided in all areas to enhance both the public's perception of safety and to deter offenders intent on committing any form of crime.

Group 3 – Crimes of Dishonesty – Theft Housebreaking, Theft Shoplifting, Thefts etc.

All areas of Dunbar are affected by crimes of Dishonesty. In recent months groups of local and travelling criminals have taken advantage of poor home security and stolen items from several insecure houses, garages, sheds and vehicles. Lothian and Borders police are currently organising a crime prevention initiative designed to provide all residents of East Lothian with basic, common sense crime prevention advice. Again increased lighting and home security (House and garage alarms, security lighting etc) fitted as standard would assist in this area.

The newly developed areas of Dunbar have not fallen victim to many crimes of dishonesty and those residents that have experienced crime have generally left properties insecure.

Group 4 – Vandalism, Fire-raising etc.

Vandalism is one of the main low level – high volume crimes apparent in this area. Generally many of these crimes are alcohol related and are committed late at night. With no CCTV currently available the very nature of this crime means that solvency rates are low. Again the newly developed areas of Dunbar experience very low levels of vandalism etc.

Group 5 – Drugs, Carrying Offensive Weapons etc.

Lothian and Borders police target Drugs as a priority and officers generally carry out searches of individuals or premises when evidence supports such action. There were 42 incidents recorded in this area and many of those will relate to street searches of individuals where police have recovered controlled drugs. Again most of these incidents will take place in the towns centre and there are no recorded incidents in the newly developed areas.

Anti-social Behaviour

The council and police receive calls regarding ASB on a weekly basis but these generally relate to youths congregating in areas of the town centre. Many of these calls relate to youths just 'hanging about' where no actual criminal activity is apparent. Underage drinking, agent purchasing of alcohol and anti-social behaviour are high on the agenda and Dunbar, like all other areas in East Lothian is targeted by all partners in an effort to decrease instances of alcohol misuse and its effects.

Summary

To summarise Dunbar is generally considered to be a very safe and pleasant place to live, work and visit. The installation of a new CCTV system will greatly assist police and there partners to monitor and detect offences being committed centrally. The newly developed areas of the town experience very few incidents of criminal behaviour and those recorded are generally thefts or minor vandalisms. Both crime types (indeed most crime types) could be affected by increased security and lighting.

All crime statistics recorded by Lothian and Borders Police are available by post or in PDF form at http://www.lbp.police.uk/freedom-of-information/pl_performance.asp .

Should any further information be required then contact Sergeant Bob Erskine, Local Authority Liaison Officer on Ext 7289 or erskine@eastlothian.gov.uk .

APPENDIX 3

East Lothian Council Open Space and Play Provision Standards

NO. OF DWELLINGS	OPEN SPACE AND EQUIPPED PLAY AREA REQUIREMENT	INDICATIVE TYPES OF PROVISION
10 – 19	60m ² per dwelling	Formal / Informal open space
20 – 49	60m ² per dwelling 0 – 8 play area	Formal / Informal open space Play area
50-159	60m ² per dwelling 0 – 15 play area(s) Possibly additional 0 – 8 play area	Formal / Informal open space - Local Park (approx. area 0.2 - .05 hectares) Play area(s)
160 – 499	60m ² per dwelling 0 – 15 play area(s) Possibly additional 0 – 8 play area (s)	According to Masterplan: Formal / Informal open space - Local Park(s) (approx. area 0.2-.05 hectares) - Town Park (approx. area 0.5 – 1.0 hectares) Play areas(s)
500 upwards	60m ² per dwelling in accordance with masterplan and likely to include: 0 – 15 play area(s) Possibly additional 0 – 8 play area (s)	According to Masterplan: Formal / Informal open space - Local Park(s) (approx. area 0.2 - .05 hectares) - Town Park(s) (approx. area 0.5 – 1.0 hectare) - Civic Space Play areas(s)

East Lothian Local Plan 2008 Policy C1 and C2

POLICY C1: MINIMUM OPEN SPACE STANDARD FOR NEW GENERAL NEEDS HOUSING DEVELOPMENT

Developments of 20 and more dwellings must provide open space in line with Section 1. On-site provision of open space is encouraged for developments of less than 20 dwellings but is not required. The Council will require developer contributions in lieu of on-site provision of open space in line with Section 2. Developers must make provision for the future management and maintenance of open space to the satisfaction of the Council.

Section 1: On-site provision

For developments of 20 and more dwellings the minimum requirement for on-site provision of open space is 60m² per dwelling. This will include provision of formal and informal open space as well as space for equipped play areas. Arrangements must be in place for management and maintenance to the satisfaction of the Council.

Where a development forms part of an area for which there is a masterplan approved by the Council, open space must be provided in accordance with the masterplan; this may require greater provision than that described above.

Where developers justify an exceptional circumstance that is acceptable to the Council it may reduce the minimum standard.

Section 2: Off-site enhancement

The Council will require developer contributions toward off-site enhancement of existing open space in circumstances where:

- The open space to be enhanced is easily accessible from the development and is of a size that can accommodate increased use generated by the development; and
- The fabric of the open space requires enhancement as a direct consequence of the development.

Arrangements must be in place for management and maintenance to the satisfaction of the Council.

POLICY C2: PLAY SPACE PROVISION IN NEW GENERAL NEEDS HOUSING DEVELOPMENT

Developments of 20 and more dwellings must provide play space in line with Section 1. The Council will require developer contributions in lieu of on-site play space provision in line with Section 2. In all cases Section 3 must be satisfied.

Section 1: On-site play space provision

For developments of 20 - 50 dwellings a play area suitable for children aged 0 – 8 will be required. For developments of over 50 dwellings a play area, or areas, suitable for children aged 0 – 15 will be required.

Where a development forms part of an area for which there is a Masterplan approved by the Council, play space must be provided in accordance with the Masterplan; this may require greater provision than that described above.

Where developers justify an exceptional circumstance that is acceptable to the Council it may reduce the play space requirement.

Section 2: Off-site play space enhancement

The Council will require developer contributions toward off-site enhancement of existing play space in circumstances where:

- The play space to be enhanced is easily accessible from the development and is of a size that can accommodate increased use generated by the development; and
- The play space requires enhancement as a direct consequence of the development.

Section 3: General requirements

Play areas must:

- Be of at least 400 square metres;
- Be easy and safe to reach on foot;
- Be well overlooked by surrounding dwellings;
- Be equipped and laid out to a design as agreed with the Council;
- Be provided by the developer; and
- Have arrangements in place for maintenance to the satisfaction of the Council.

East Lothian Local Plan 2008

POLICY DP 5: MAJOR DEVELOPMENT SITES

All strategic housing and employment sites allocated to meet the requirements of the Edinburgh and the Lothians Structure Plan 2015 require the submission of a masterplan for the entire allocated site and an accompanying supporting statement. Masterplans must be submitted prior to or as part of an application for outline or full planning permission. As a minimum, the masterplan submission must describe and illustrate all the following information:

1. How the masterplan design will be informed by the contextual analysis of the site and its surroundings;
2. The development strategy, including the access and transportation requirements, the use of building types, the location and nature of proposed land uses, the landscape and open space strategy for the site, and any key public views as well as the nodes and focal points that must be retained and created;
3. How the proposal will be implemented setting out the phasing, timing and basic economic assumptions of development;
4. How the various development phases will be brought forward to ensure an overall consistency of design and layout, and the provision of shared infrastructure;
5. Points of access to and within the site and any required off site road improvements, and how opportunities to maximise connections between the site, its surroundings and different development phases will be realised, including by pedestrian and cycle routes;
6. The hierarchy of the movement framework, including the streets to be treated as Home Zones and the safe routes to school;
7. A well connected network of public spaces that have been conceived together with the layout of buildings, accessed by a movement framework (road, cycle and footway network) that presumes in favour of walking and cycling in appropriate areas, and optimises the potential for integrated transport;
8. Indicative building lines and aspects of buildings adjacent to main thoroughfares and the public open space network that will ensure the creation of a sequence of welcoming, distinctive principal public spaces and a series of views through them;
9. Indicative cross sections of the principal thoroughfares and open spaces illustrating the relationships between buildings, public spaces and the use of public realm landscaping;
10. The locations for taller buildings and their maximum height;
11. The locations for higher, medium and low density areas within the density range;
12. How the design seeks to minimise resource consumption in its response to the contextual analysis through layout and building design, while complementing other requirements;
13. Indicative building designs, colours and materials to be used on buildings to secure cohesive and harmonising development areas;
14. For housing development, the proportion and location of dwelling types, sizes and tenures, including the integration of affordable housing, and the provision, location and means of integrating housing with any other proposed uses;
15. The size, shape and development capacity of the individual phasing land parcels;
16. The type, location and incorporation of Sustainable Urban Drainage Systems and the required provision of waste recycling facilities;
17. The location of visible utilities infrastructure housings, including electrical sub-stations and gas compressor stations.

APPENDIX 5

Residential Parking Standards

Area	Number of Rooms per Dwelling*	
	Up to 5	6 or more
Council Wide	1 private space plus 0.5 communal space	2 private spaces Plus 0.25 communal space
Cycle Parking	1 space per dwelling.	

*Rooms are defined as all rooms excluding bathrooms, WCs and separate kitchens. In cases where the normally required level of parking provision cannot be achieved, a contribution to a fund usable for reducing on street residents' parking problems may be sought where appropriate schemes are identified.

Note: A reduced standard of parking provision may be acceptable in Housing Association developments to reflect low car ownership among occupants and subject to the development remaining under housing association control.

Car Parking Requirements for General Housing:

Private Spaces

Private spaces should normally be provided within the curtilage of each dwelling and will not be adopted.

Communal Spaces

No dwelling should normally be more than 50m from its nearest communal parking space.

Communal spaces must normally be adopted and available for use by the general public free of charge.

In addition, where possible the layout of spaces should act as traffic calming, and footway blisters and other traffic calming measures should be included to facilitate pedestrian crossing movements.

Cycle Parking Requirements for General Housing:

- (a) Housing units with a private garage or private rear garden:
No provision required.
- (b) Flats:
1 Locker per flat or communal provision in a lockable room or shed.
- (c) Other housing:
There should be secure accessible undercover space set aside to park at least 1 cycle per unit.

Contact Details

East Lothian Council

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