

REVIEW STATEMENT-V1

This document to be read in conjunction with Section 8A of Notice of Review Application and the Architects drawings

Project: 121 Salters Road, Wallyford, East Lothian EH21 8AQ

Subject: Review statement supplementary to planning application lodged by hLp architects ref no. 14/00758/P and in support of the application for review of refusal.

Date: 25.03.15

Client: Mr Abdul Sattar

Author: Colin Gibson (hLp architects)

Reference no: 1056

Review statement in support of planning application

It is our intention in this statement to respond to the planning authorities reasons for refusal as noted in the decision notice.

We take issue with the first point regarding the height, scale and massing would appear overly dominant, incongruous and intrusive with in the streetscape. Our clients' proposal raises the height of the ridge by 1m from that of the previously approved planning application (Ref: 11/00278/P). This was done to allow accommodation with in the roof space that would otherwise be dormant and unusable space. We have provided additional drawings, which make comparison between the previously approved and new proposals, which we believe challenge the statement regarding design being overly dominant, incongruous and intrusive.

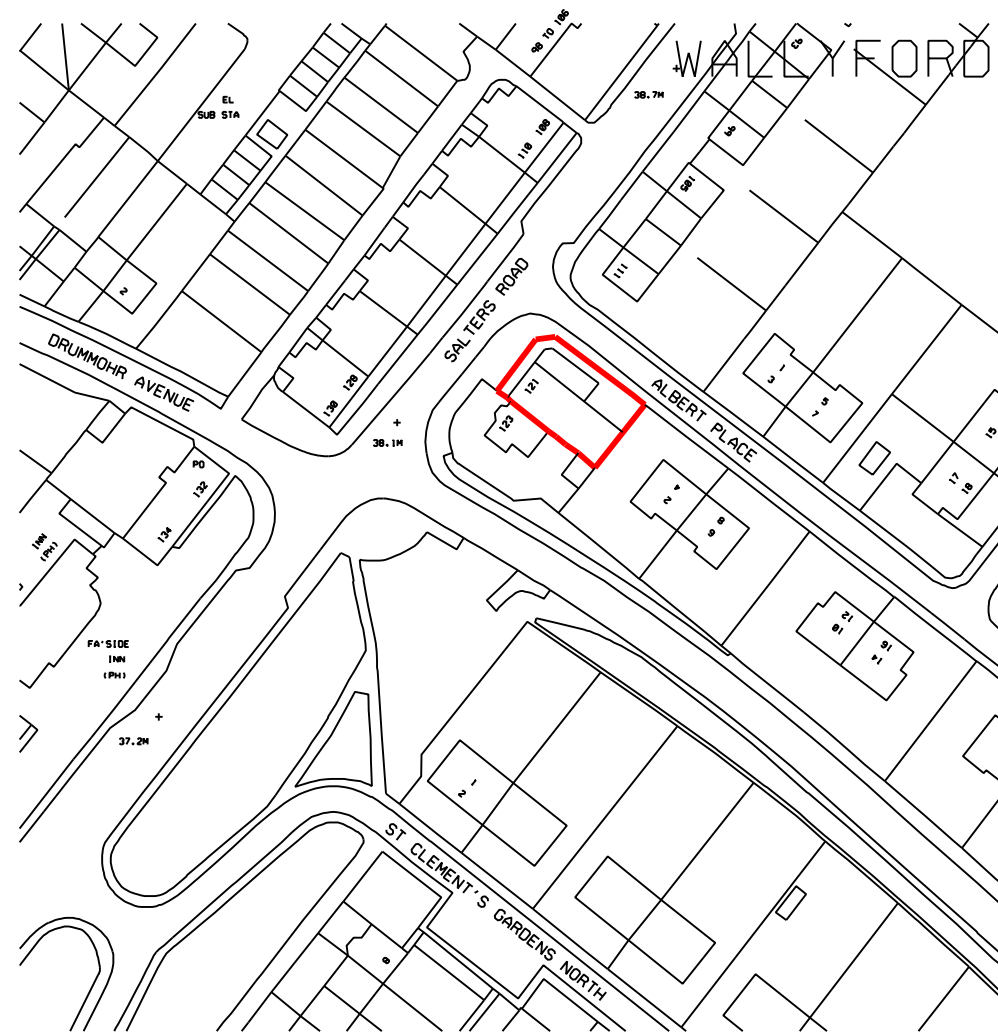
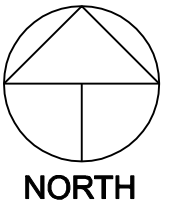
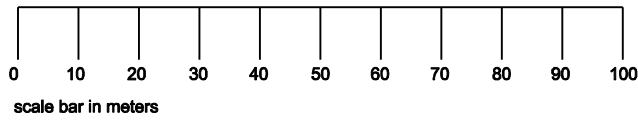
The second point referred to in the decision notice regards the proposed timber screen. In this we would draw attention to an earlier approved planning application on the site; your ref 02/01158/FUL in which a roof terrace with a 2.1m high brick wall with render finish to sides was deemed acceptable. We would in light of the planning officers report accept a condition to change the proposed timber screen to a rendered wall in line with what has been previously granted. As such our new drawings also now show this wall.

Additional support information is appended to this application and comprises;

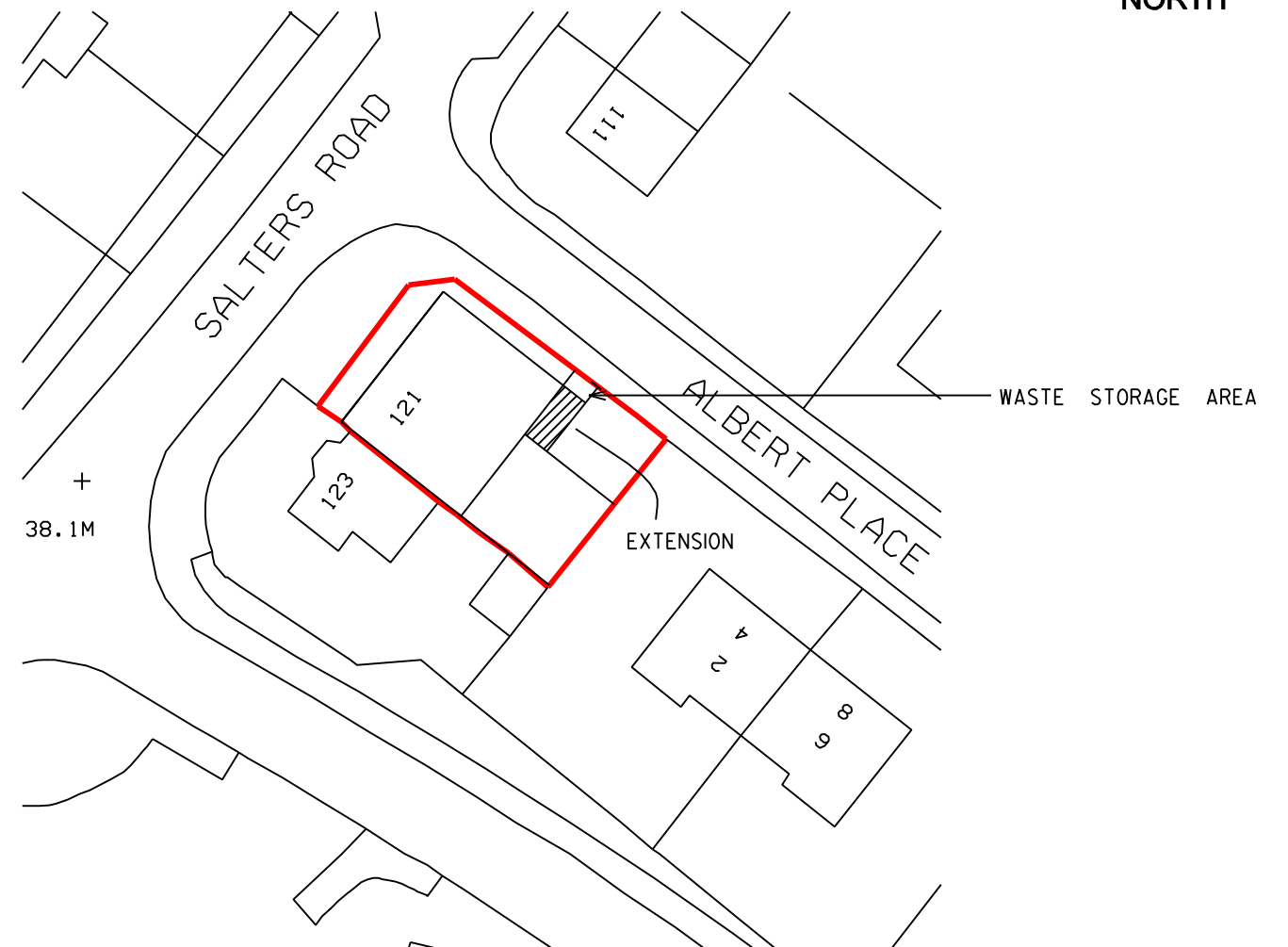
1056/015 Proposed and previously approved North West elevation
1056/016 Proposed and previously approved North East elevation
1056/017 Proposed and previously approved South East elevation
1056/018 Proposed and previously approved South West elevation

Signed Colin Gibson **BArch(Hons)DipArch**

Dated 25.03.15



LOCATION PLAN - SCALE 1:1250



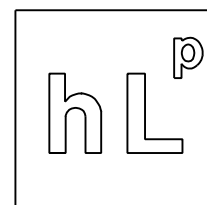
BLOCK PLAN - SCALE 1:500

Rev.	Description	Date
B.	AMENDED	01.12.14

CLIENT	
ALTERATIONS TO 121 SALTERS ROAD WALLYFORD	
TITLE	
LOCATION & BLOCK PLAN	
Date	JULY 2010
Drawn	MPJM
Checked	
Scale	AS STATED @ A3
Drwg No.	1056/001 Rev B
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- NOTES
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 2. All dimensions to be taken on site prior to manufacture or ordering of any materials or components.
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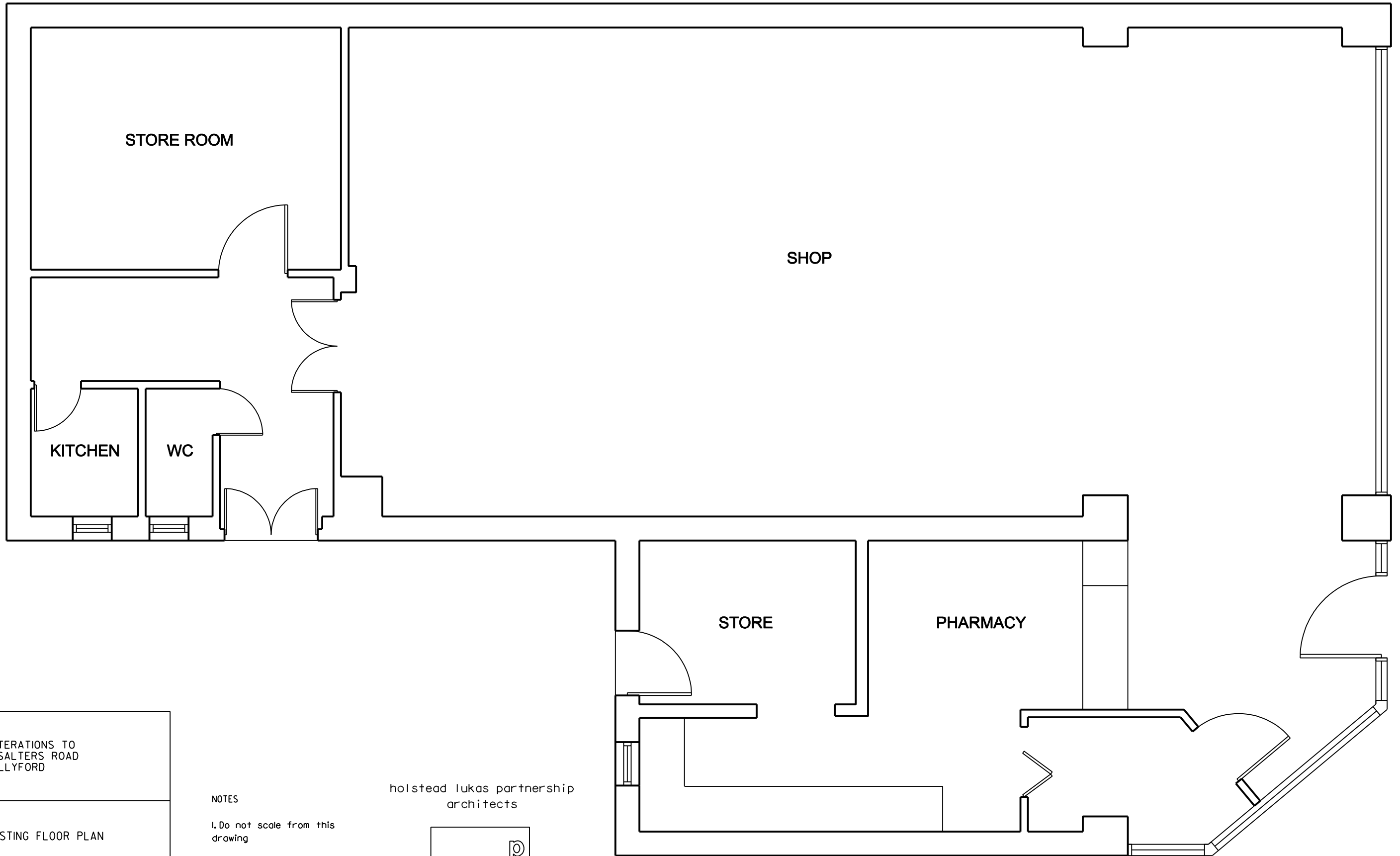


architects
35 Joppa Road
Edinburgh
EH15 2HB
0131 66 99 300
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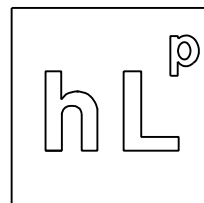


CLIENT	
ALTERATIONS TO 121 SALTERS ROAD WALLYFORD	
TITLE	
EXISTING FLOOR PLAN	
Date	JULY 2010
Drawn	MPJM
Checked	
Scale	1:50 @ A3
Drwg No.	1056/002
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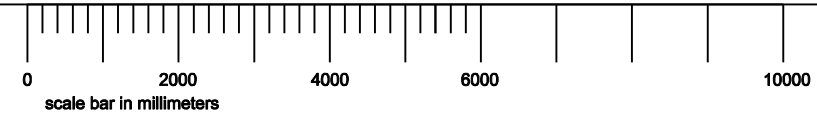
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35 Joppa Road
Edinburgh
EH15 2HB
0131 66 99 300

E. hlparchitects@btconnect.com

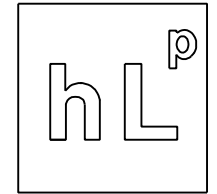
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35 JOPPA ROAD
EDINBURGH EH15 2HB

T. 0131 669 9300
E. hlparchitects@btconnect.com

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Rev.	Description	Date

CLIENT
ALTERATIONS TO
121 SALTERS ROAD
WALLYFORD
EH21 8AQ

TITLE
EXISTING ELEVATIONS

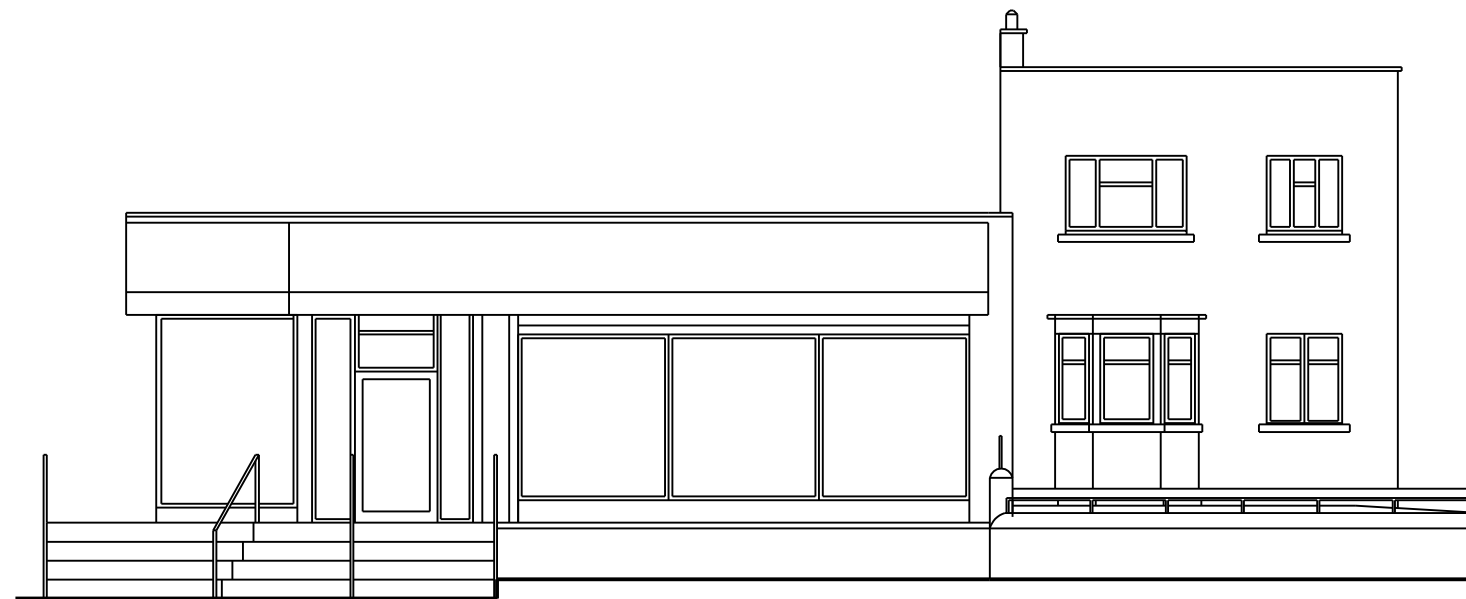
Date JULY 2010

Drawn	MPJM	Checked
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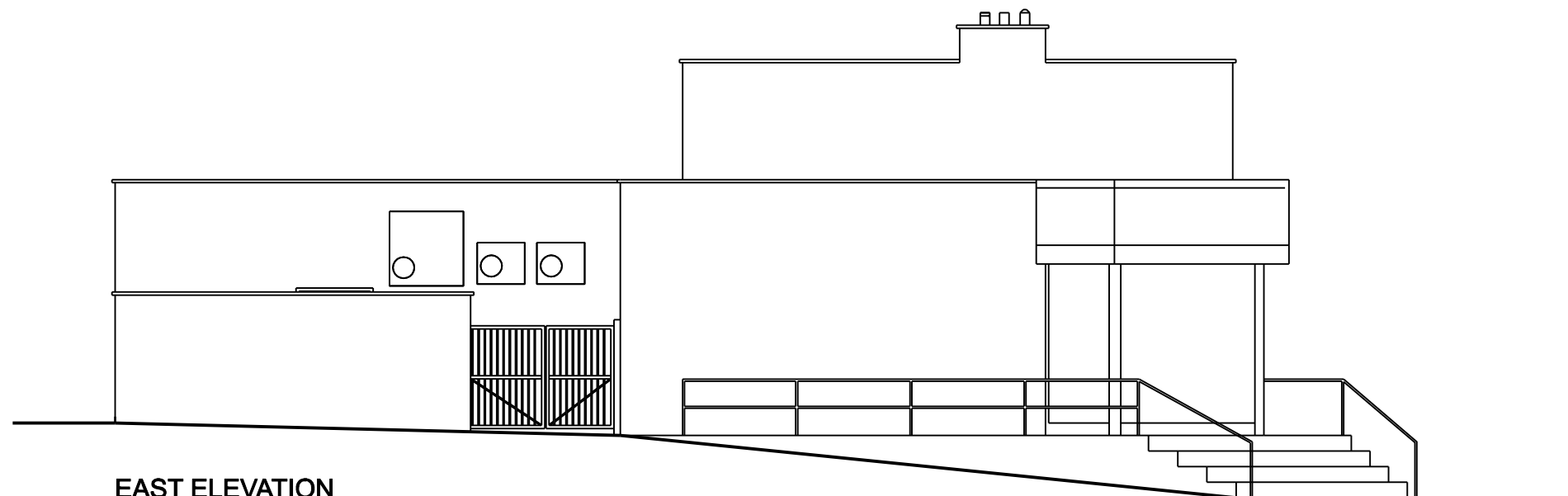
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Drwg No. 1056/003

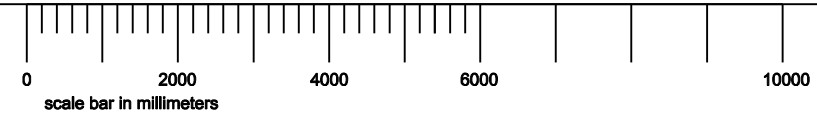
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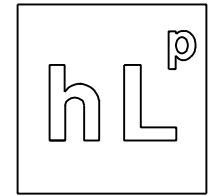
NORTH ELEVATION



EAST ELEVATION



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architects



architects
35 JOPPA ROAD
EDINBURGH EH15 2HB

T. 0131 669 9300
E. hlparchitects@btconnect.com

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CLIENT
ALTERATIONS TO 121 SALTERS ROAD WALLYFORD EH21 8AQ

TITLE
EXISTING ELEVATIONS

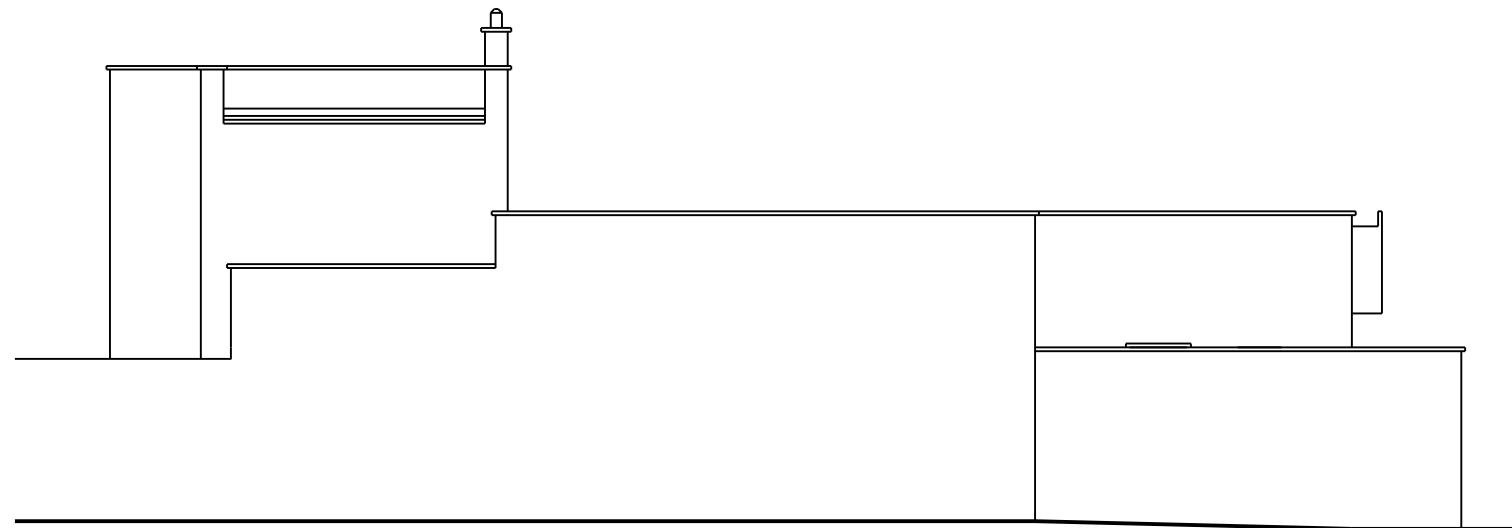
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Drawn	MPJM	Checked
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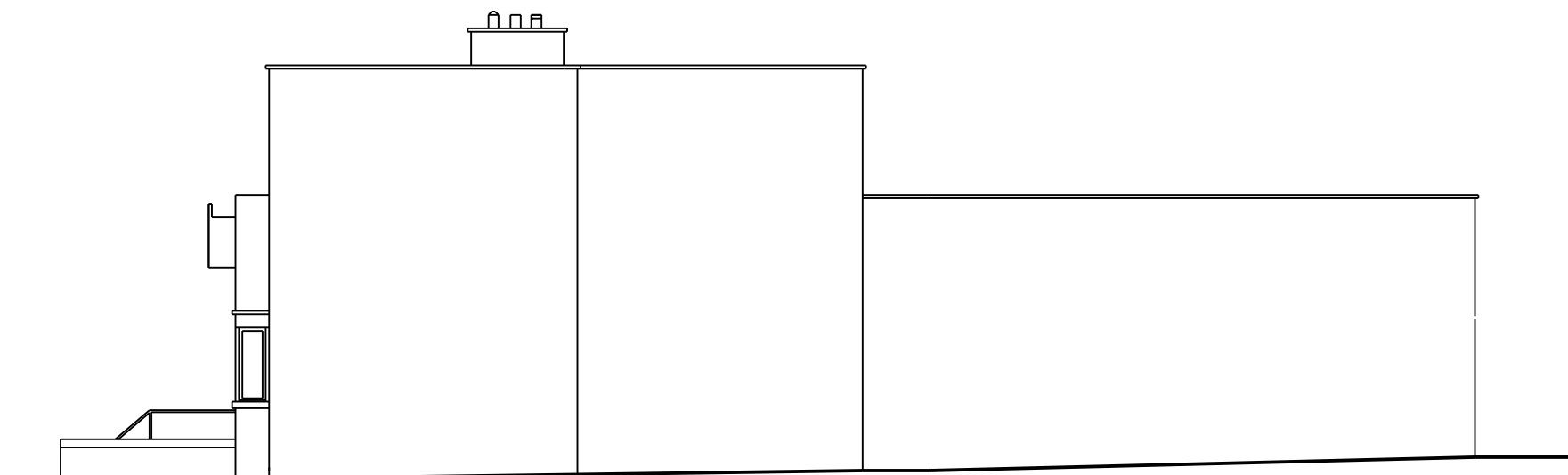
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Drwg No.	1056/004
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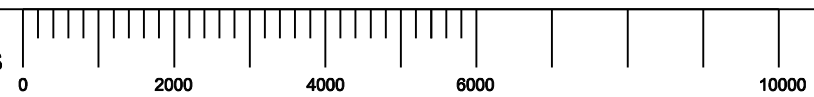


SOUTH ELEVATION



WEST ELEVATION

scale bar in millimeters



GENERAL BUILDING NOTES:

ALL WORKS AND MATERIALS ARE TO CONFORM TO THE RELEVANT BRITISH STANDARDS AND CODES OF PRACTICE

1. STRUCTURAL

- DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DETAILS.

2. FIRE

- THE HOUSE SHOULD BE PROVIDED WITH 1 OR MORE SMOKE ALARMS LOCATED ON EACH STOREY WITH A STANDBY TO BS 5446: PART 1: 2000 AND INSTALLED IN ACCORDANCE WITH THE GUIDANCE IN CLAUSE 2.11.2.
- ALL SERVICES TO BE FIRE-STOPPED WITH INTUMESCENT FOAM AND FIRE COLLARS WHEN PASSING THROUGH SEPERATING WALLS / FLOORS.
- ALL RECESSED SPOTLIGHTS WITHIN PLASTERBOARD CEILINGS TO BE FITTED WITH FIRE CAPS TO GIVE 30MIN. FIRE PROTECTION
- ALL SOCKETS POSITIONED AT LEAST 350mm AWAY FROM INTERNAL CORNERS PROJECTING WALLS AND OBSTRUCTIONS. ALL SOCKETS TO BE 400mm FROM FFL AND 150mm ABOVE WORKTOPS.
- ALL LIGHT SWITCHES POSITIONED BETWEEN 900mm AND 1100mm ABOVE FFL.
- SEPERATING FLOOR TO PROVIDE MIN. 60MINS. FIRE DURATION.
- ALL FIRE STOPPING ETC. TO BE MIN. 60 MINS DURATION

3. ENVIRONMENT

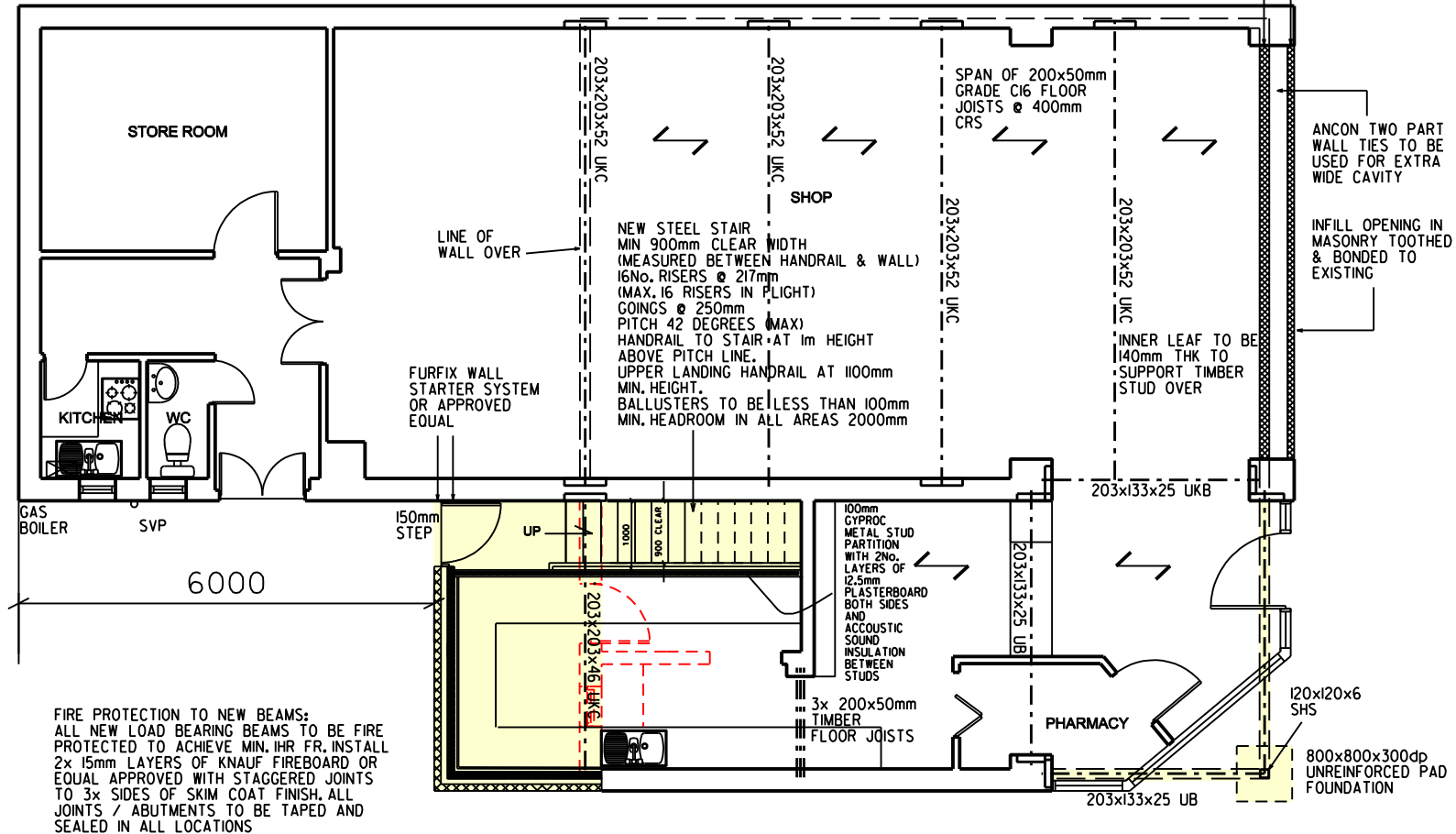
- NEW DRAINAGE SYSTEMS TO BE WATER AND AIR TESTED TO BS8301
- NEW DRAINAGE TO BE 18mm/M (MIN.) GRADIENT
- ALL PIPEWORK TO BE CLIPPED AND FULLY SUPPORTED TO MANUFACTURERS SPECIFICATION
- NEW DRAINAGE PIPES TO BE RUN BETWEEN JOISTS WITH NO CUTTING OR NOTCHING OF JOISTS UNLESS DIRECTLY SPECIFIED OR NOTED
- SVPs TO TERMINATE MIN 900mm ABOVE OPENING WINDOWS WITHIN 3m
- ALL DRAINAGE INLETS TO HAVE DEEP SEAL TRAPS
- AIR ADMITANCE VALVES TO BE INSTALLED AS PER BBA CERTIFICATE, TO BE ACCESSIBLE AND TERMINATE MIN. 300mm ABOVE FLOOD LEVEL OF HIGHEST APPLIANCE.
- ALL SHOWER WALLS TO BE FULLY TILED
- SHOWER TRAPS TO BE ACCESSIBLE
- TRICKLE VENTS TO ALL WINDOWS TO BE EQUAL TO 12,000mm² MIN.
- TRICKLE VENTS TO BE PROVIDED TO ALL INTERNAL BATHROOMS / SHOWER ROOMS TO BE AT A HEIGHT OF 1.75M AND TO BE INDEPENDANT OF EXTRACT SYSTEM.
- BATHROOM EXTRACT FANS TO BE CAPABLE OF 15L/S EXTRACT RATE
- KITCHEN EXTRACT FANS TO BE CAPABLE OF 60L/S
- UTILITY ROOM EXTRACT FANS TO BE CAPABLE OF 30L/S
- WHERE EXTENDED DUCT LENGTHS ARE REQUIRED CENTRIFUGAL FANS TO BE USED IN ORDER TO ACHIEVE THE REQUIRED AIR CHANGE
- HEATING PROVISION - GROUND SOURCE HEAT PUMP WITH SEALED SYSTEM HWC AND COMBINATION OF STEEL RADIATORS AND EMBEDDED UNDERFLOOR HEATING PIPEWORK. CAPABLE OF MAINTAINING A TEMPERATURE OF 21DEGREES C IN AT LEAST ONE APARTMENT AND 18 DEGREES C ELSEWHERE, WHEN THE OUTSIDE TEMPERATURE IS MINUS IDEGREES C.
- DISCHARGE PIPEWORK FROM HEAT PUMP AND HWC TO BE TAKEN TO A PLACE OF SAFETY ON EXTERNAL WALLS TERMINATING MIN. 150mm ABOVE GROUND LEVEL AND POSITIONED WHERE THERE IS NO RISK FROM HOT WATER DISCHARGE.
- ALL HOT WATER PIPES AND HEATING PIPES TO BE INSULATED TO BS 5422: 2001.
- ALL BATHROOM & EN-SUITE WALLS TO BE LINED WITH 15mm AQUA PANEL BOARDS WITH 10mm GAP BETWEEN BOARDS. (MOISURE RESISTANT).
- MASONRY CAVITY WALL TO BE CONSTRUCTED IN ACCORDANCE WITH BS5628: PART 3: 2000 AND BS5390: 1976.
- WEEP HOLES TO BE PROVIDED AT THE HEAD OF ALL WINDOW OPENINGS AND CAVITY TRAYS AND BASE OF ALL WALLS.
- UTILITY ROOM TO BE FITTED WITH HUMIDISTAT SET TO ACTIVATE WHEN RELATIVE HUMIDITY IS BETWEEN 50 AND 65%
- EAVES APRON TO BE PROVIDED TO BREATHER MEMBRANE.
- GEOTEXILE UNDERLAY MEMBRANE TO BE USED WITH ALL INSTANCES OF LEAD CLADDING.

4. SAFETY

- ALL ELECTRICAL WORK TO COMPLY WITH BS7671: 2008
- ALL GLAZING INSTALLED IN DOORS OR WINDOWS BELOW 800mm FROM FINISHED FLOOR LEVEL TO BE SAFETY GLASS TO BS 6262 : 2005
- ANTISCALD DEVICE TO BE FITTED TO ALL BATHWS LIMITING TEMPERATURE TO 48 DEGREES AT POINT OF SOURCE.
- EXTERNAL STEPS TO BE NO MORE THAN 170mm RISERS
- CLEAR OPENING DIMENSIONS FOR DOORS TO BE MEASURED FROM FACE OF DOOR WHEN OPEN TO OPPOSITE DOOR STOP.
- FLIGHT AND LANDING TO STAIR TO HAVE CLEAR HEADROOM OF 2M EXTENDING OVER THE WHOLE EFFECTIVE WIDTH. HEIGHT TO BE MEASURED VERTICALLY FROM THE PITCH LINE OR SURFACE OF THE LANDING.
- ALL ELECTRICAL FIXTURE TO BE AT LEAST 350mm AWAY FROM ANY INTERNAL CORNER, PROJECTING WALL OR SIMILAR OBSTRUCTION AND NOT MORE THAN 1.2M ABOVE FLOOR LEVEL.
- STANDARD SWITCHED OR UNSWITCHED SOCKET OUTLETS FOR OTHER SERVICES SUCH AS TELEPHONE OR TELEVISION SHOULD BE POSITIONED AT LEAST 400mm ABOVE FLOOR LEVEL.
- SOCKETS TO WHITE GOODS TO BE IN ACCESSIBLE LOCATION.
- SOCKETS TO BE 150mm ABOVE WORKTOPS ETC.

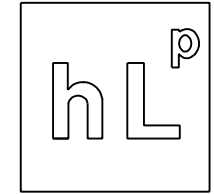
6. ENERGY

- EXTERNAL DOOR & WINDOWS TO HAVE U-VALUE OF 1.6Wm²K
- AT LEAST 75% OF FIXED LIGHTING FITTINGS TO BE LOW ENERGY TYPE.
- COMMISSIONING CERTIFICATE FOR THE HEATING SYSTEM TO BE GIVEN AND WRITTEN INFORMATION ON THE OPERATING SYSTEM TO BE PROVIDED.



FIRE PROTECTION TO NEW BEAMS:
ALL NEW LOAD BEARING BEAMS TO BE FIRE PROTECTED TO ACHIEVE MIN. 1HR FR. INSTALL 2x 15mm LAYERS OF KNAUF FIREBOARD OR EQUAL APPROVED WITH STAGGERED JOINTS TO 3x SIDES OF SKIM COAT FINISH. ALL JOINTS / ABUTMENTS TO BE TAPED AND SEALED IN ALL LOCATIONS

holstead lukas partnership architects



architects
35 JOPPA ROAD
EDINBURGH EH15 2HB

T. 0131 669 9300
E. hlpartners@btconnect.com

NOTES

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DATED
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Rev.	Description	Date
B	NOTES ADDED	01.12.14

CLIENT
ALTERATIONS TO
121 SALTERS ROAD
WALLYFORD
EH21 8AQ

TITLE
PROPOSED GROUND
FLOOR PLAN

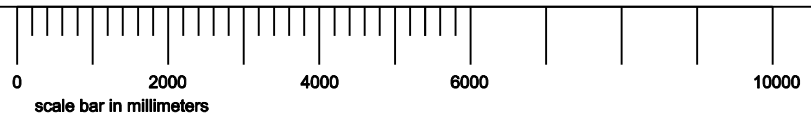
Date SEPT 2014

Drawn GH Checked

Scale 1:100 @ A3

Drwg No. 1056/005 Rev. B

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960W X 1600H
FIRE ESCAPE
VELUX
ROOFLIGHT

1140W X 1180H
VELUX
ROOFLIGHT
CENTRE PIVOT.
OVER STAIR

960W X 1600H
FIRE ESCAPE
VELUX
ROOFLIGHT



NORTH-WEST ELEVATION

PROPOSED EXTERNAL MATERIALS

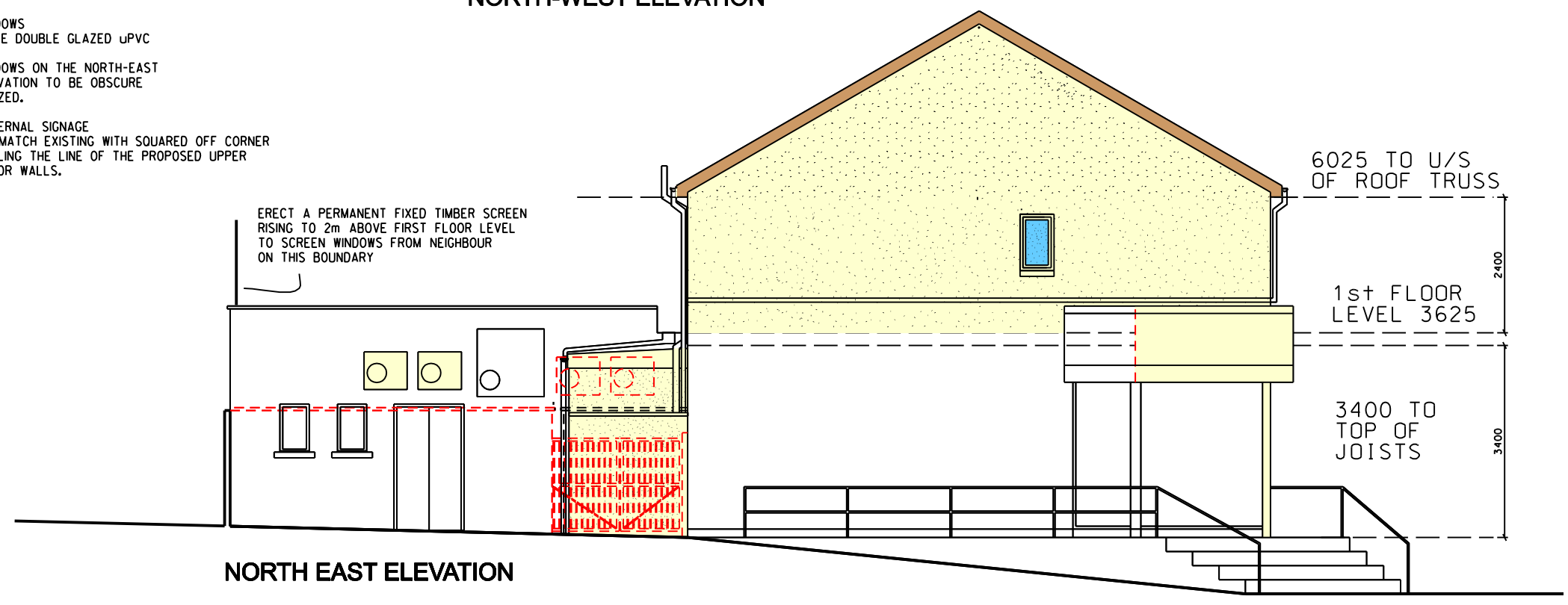
ROOF:
INTERLOCKING CONCRETE ROOF TILE

EXTERNAL FINISH:
DRYDASH RENDER FINISH TO
MATCH ADJACENT PROPERTY

WINDOWS
WHITE DOUBLE GLAZED UPVC

WINDOWS ON THE NORTH-EAST
ELEVATION TO BE OBSCURE
GLAZED.

EXTERNAL SIGNAGE
TO MATCH EXISTING WITH SQUARED OFF CORNER
FOLLING THE LINE OF THE PROPOSED UPPER
FLOOR WALLS.



NORTH EAST ELEVATION

ERECT A PERMANENT FIXED TIMBER SCREEN
RISING TO 2m ABOVE FIRST FLOOR LEVEL
TO SCREEN WINDOWS FROM NEIGHBOUR
ON THIS BOUNDARY

holstead lukas partnership
architects

architects
35 JOPPA ROAD
EDINBURGH EH15 2HB

T. 0131 669 9300
E. hlparchitects@btconnect.com

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Rev.	Description	Date
D	AMENDED	01.12.14

CLIENT

ALTERATIONS TO
121 SALTERS ROAD
WALLYFORD
EH21 8AQ

TITLE

PROPOSED ELEVATIONS

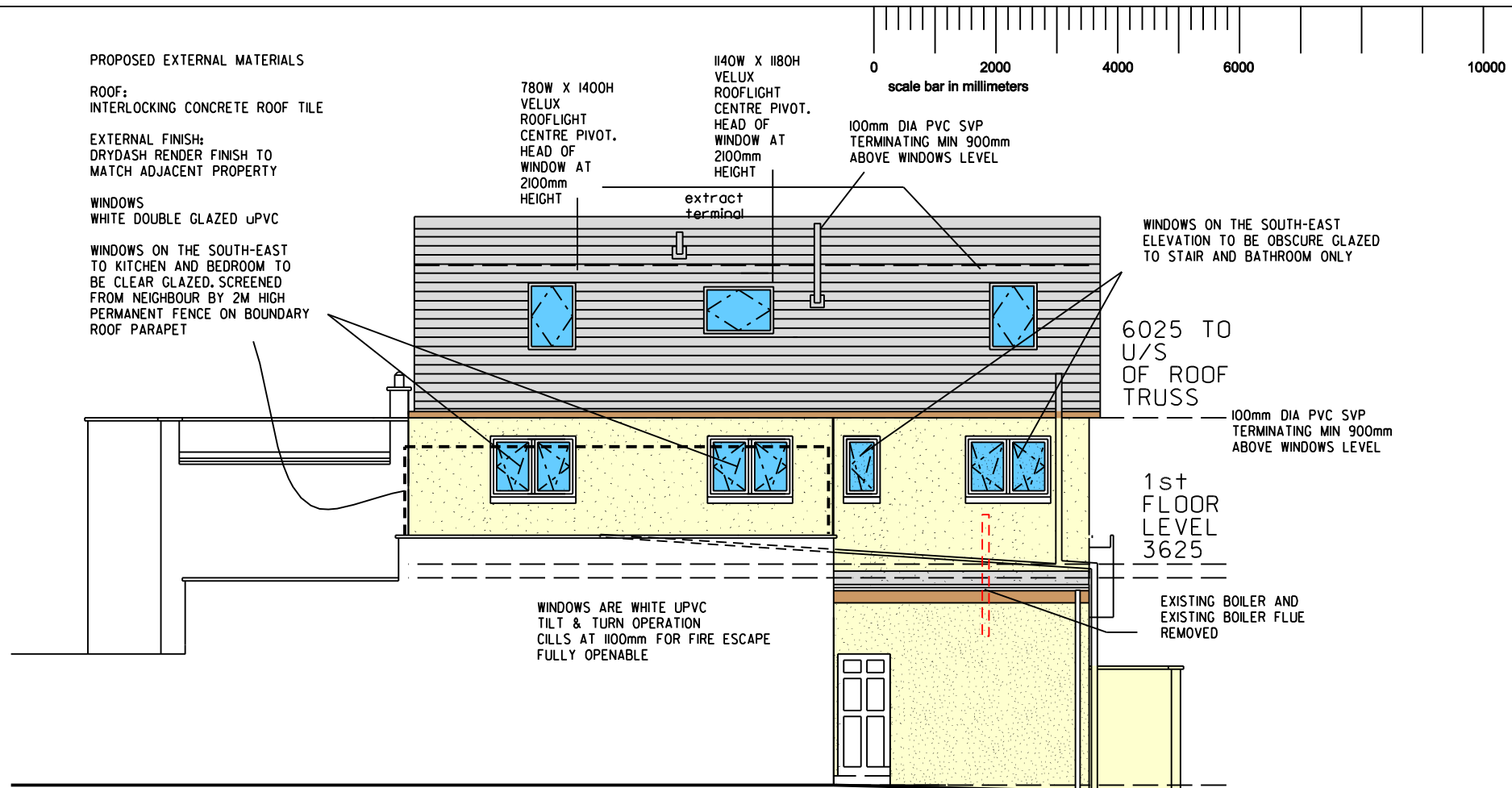
Date JUNE 2011

Drawn MPJM Checked

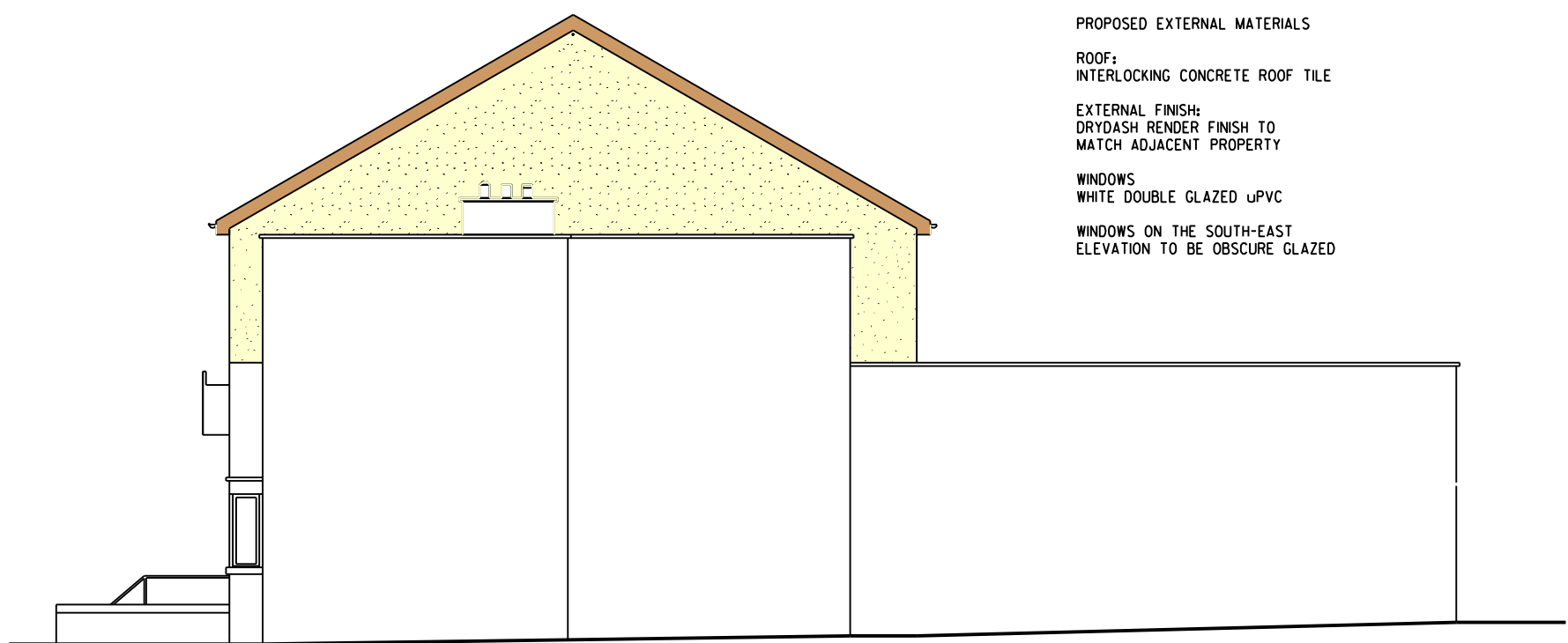
Scale 1:100 @ A3

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SOUTH-EAST ELEVATION



SOUTH-WEST ELEVATION

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T. 0131 669 9300
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Rev.	Description	Date
B	AMENDED	01.12.14

CLIENT

ALTERATIONS TO
121 SALTERS ROAD
WALLYFORD
EH21 8AQ

TITLE

PROPOSED ELEVATIONS

Date APRIL 2011

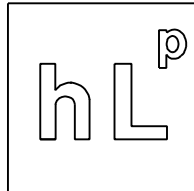
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38.1M

Rev.	Additional Notes Added	Date
B.	ADDITIONAL NOTES ADDED	01.12.14
Rev.	Description	Date

CLIENT
ALTERATIONS TO
121 SALTERS ROAD
WALLYFORD

TITLE
PROPOSED
LOCATION & BLOCK PLAN

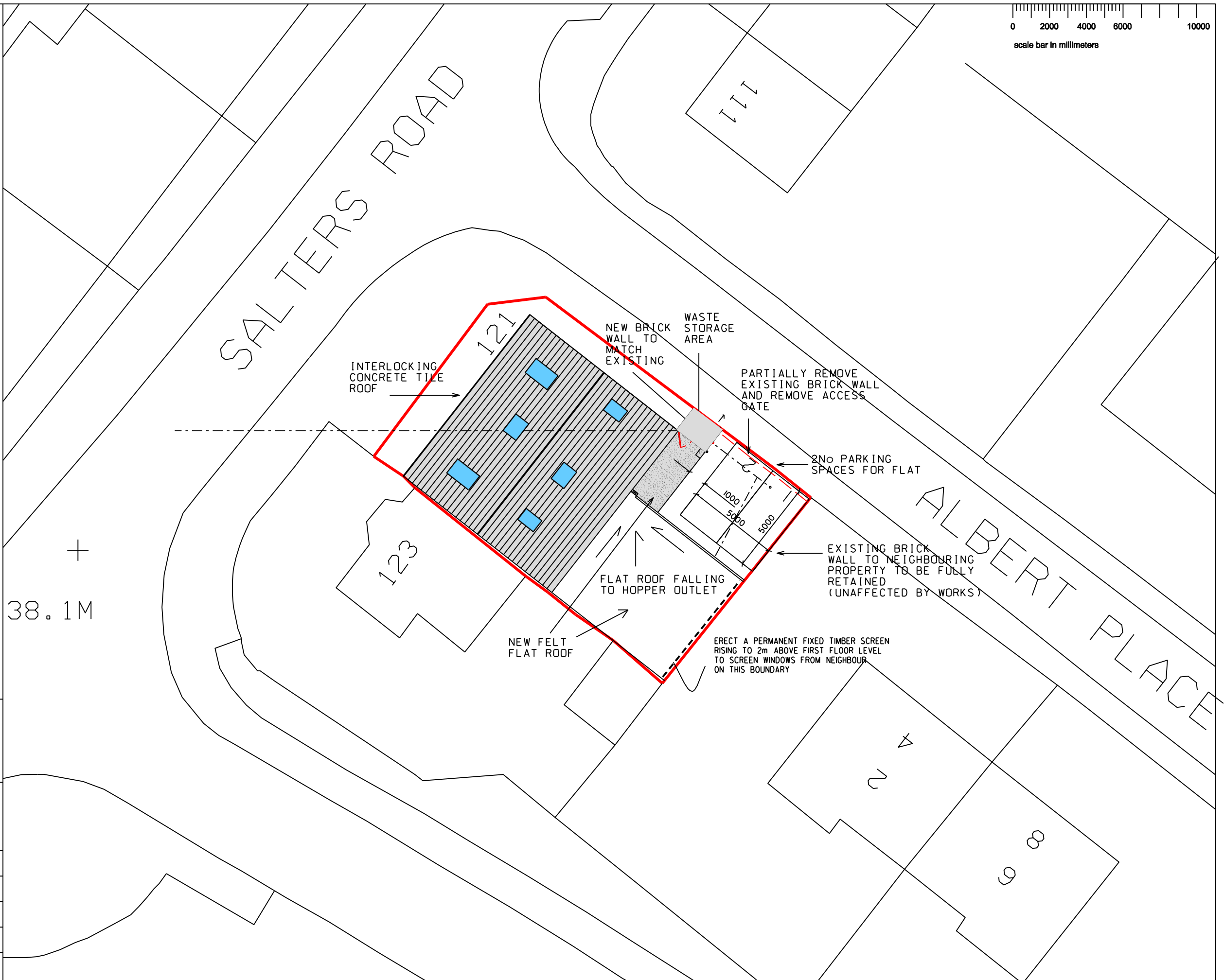
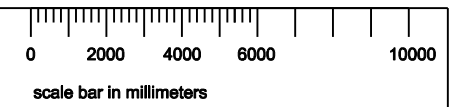
Date MAY 2011

Drawn MPJM Checked

Scale 1:200 @ A3

Drwg No. 1056/009 Rev B.

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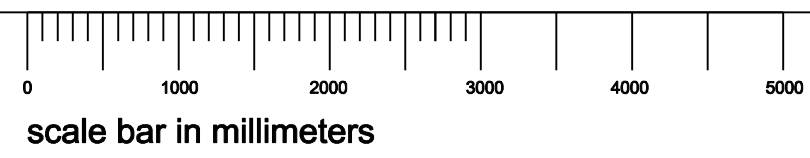


INSTALL THERMOSTATIC VALVES TO HW SUPPLY PIPES TO SINKS AND WHBS. HW STORAGE VESSELS TO MAINTAIN A HW STORAGE TEMPERATURE OF NOT LESS THAN 60DEG AND DISTRIBUTED AT TEMPERATURE OF NOT LESS THAN 55DEG. DELIVERY TEMPERATURE TO WHB AND SINK TO BE NOT MORE THAN 48 DEG. ALL HOT WATER SYSTEMS TO BE FITTED WITH TEMPERATURE-OPERATED, NON SELF-RESETTING THERMAL CUT OUT COMPLYING WITH BS 3955:1986.

NEW WORCESTER BOSCH 35kw HIGH EFFICIENCY COMBI BOILER. SEDBUK 'A' RATED FLUE DOES NOT PASS THROUGH AND IS 25mm AWAY FROM ANY COMBUSTIBLE MATERIALS. PROTECTIVE GUARD FITTED TO BOILER FLUE. SEE ALSO - ADDITIONAL BOILER NOTES ON DRAWING 012

EXTRACT OVER HOB 30L/sec VENTING UP THRO' ROOF TO ATMOSPHERE

VERTICAL CLADDING BATTENS ACTING AS CAVITY BARRIERS PROVIDING MIN. 30min. FIRE RESISTANCE. 50 x 50 TSW @ 400CRS. CAVITY BARRIERS ALSO TO BE PROVIDED AT ALL CORNERS AND AROUND THE JAMBS AND SILL OF ALL EXTERNAL DOOR AND WINDOW OPENINGS.



holstead lukas partnership architects

architects

35 Joppa Road
Edinburgh
EH15 2HB
0131 66 99 300
E. hlparchitects@btconnect.com

ALL NEW ELECTRICAL WORKS TO BE IN ACCORDANCE WITH CURRENT IEE REGULATIONS AND TO COMPLY WITH BS 7671:2008

ELECTRICAL SOCKETS OUTLETS TO BE POSITIONED A MINIMUM OF 400mm ABOVE FINISHED FLOOR LEVEL. A MINIMUM OF 350mm FROM INTERNAL CORNERS. A MINIMUM OF 150mm ABOVE WORKTOPS. ANY CONCEALED SWITCHES TO HAVE SEPERATE ACCESSIBLE SWITCH. LIGHT SWITCHES TO BE POSITIONED BETWEEN 900 - 1000mm FROM FINISHED FLOOR.

SMOKE DETECTION: HEAT DETECTOR (HD) TO BE LOCATED IN KITCHEN AT CEILING LEVEL AND TO BE MAINS OPERATED WITH 72HR BATTERY BACK-UP. TO BS 5446: PART 2: 2003.

ALL INSTALLATIONS TO BE IN ACCORDANCE WITH BS 5446: PART 1: 2000. ALL HD's & SD's TO BE INTERLINKED. SD's TO BE MIN. 300mm FROM LIGHTS AND WALLS. SMOKE DETECTOR BE ON SEPERATE CIRCUIT

ALSO PROVIDE ONE SMOKE DETECTOR TO HABITABLE ROOM TO BS 5839: PART 6: 2004

EXISTING FLAT ROOF

DOORS AND WINDOWS TO BE FITTED WITH DRAUGHT STRIPS

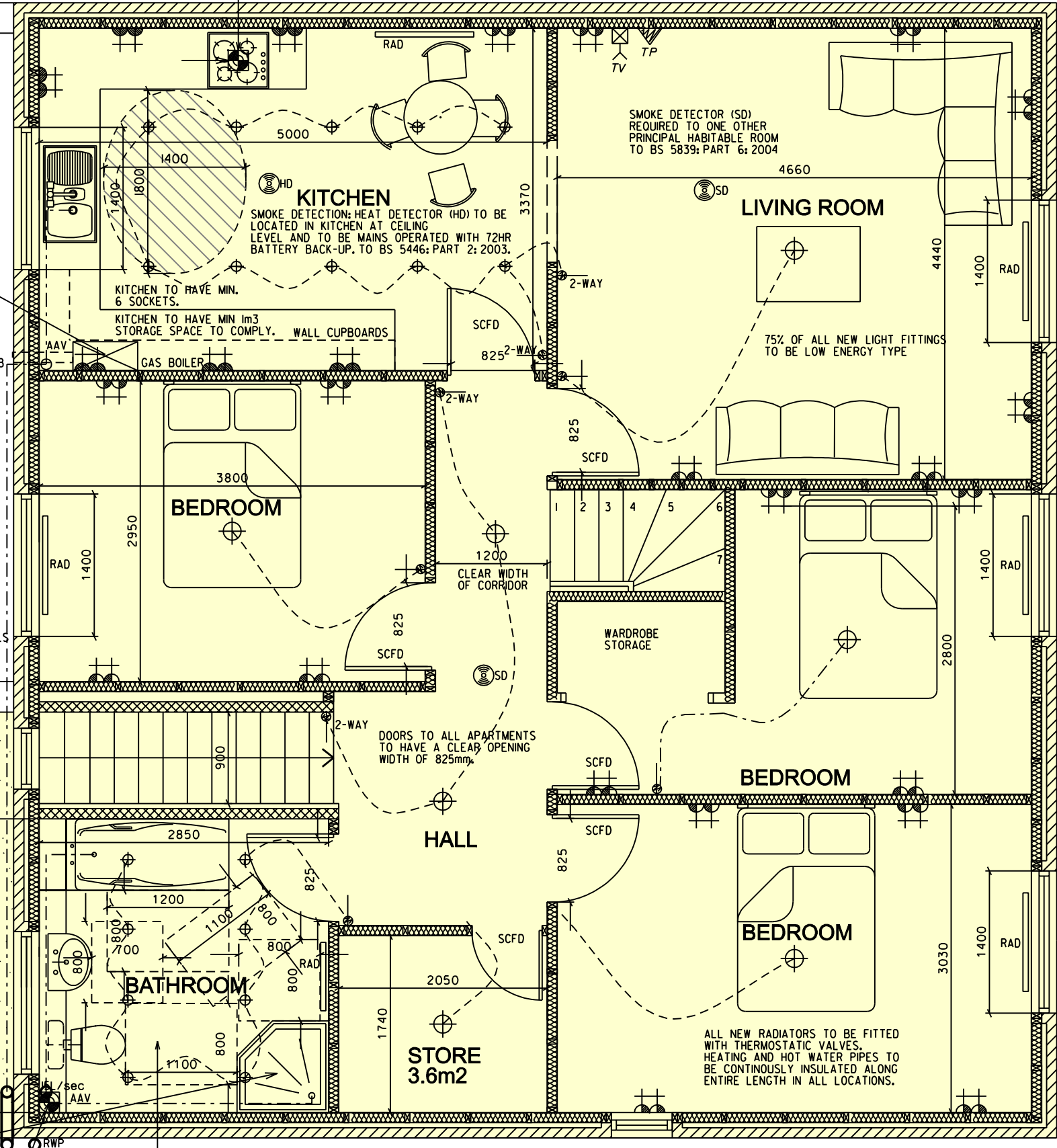
AIR INFILTRATION: ALL NEW PLASTERWORK TAPED AND SEALED AT ABUTMENTS WITH WALLS AND CEILINGS. INSTALL TWO PART MASTIC AT ALL ABUTMENTS WITH DOORS AND WINDOW FRAMES IN ALL LOCATIONS.

NON-LOADBEARING WALL TO COMPRISE 100x50mm S/W FRAME @ 450mm CRS WITH 12.5mm PLASTERBOARD BOTH SIDES AND ISOWOOL INSULATION PACKED TIGHT BETWEEN ALL VOIDS AND STUDS IN ALL LOCATIONS. ALL JOINTS AND ABUTMENTS TO BE TAPED AND SEALED AND WALLS TO BE 3mm SKIM COAT FINISHED TO ROOM SIDES IN ALL LOCATIONS.

FELT FLAT ROOF

FLAT ROOF: 3no. LAYERS HIGH PERFORMANCE FELT ANDERSON MONARFLEX FIRESMART TORCH-ON SYSTEMS - FIRE DESIGNATION AA OR 12.5mm CHIPS BEDDED ON BITUMEN 18mm EXTERIOR GRADE W & BP PLYWOOD JOISTS TO SE SPECIFICATION

800mm QUAD SHOWER TRAY. ACCESSIBLE SHOWER TRAP 'HARMER' OR EQUAL. SHOWER AREAS TO BE FULLY TILED USING WATER RESISTANT ADHESIVE AND GROUT ON WATERPROOF PLASTERBOARD. GLAZED DOORS TO SHOWERS TO BE TOUGHENED GLASS TO BS 62 62. LIGHT FITTING ABOVE THE SHOWER TO BE IP45 RATED. MIXER SHOWER 'MIRA EXCELL' OR EQUAL.



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SIGNED.....

ELECTRICAL KEY

	LIGHT SWITCH, No. OF WAYS INDICATED.
	13A SINGLE SWITCHED SOCKET OUTLET
	13A DOUBLE SWITCHED SOCKET OUTLET
	NEW SLIMLINE PANEL RADIATOR (TO CLIENTS SPECIFICATION)
	PENDANT LIGHT FITTING
	RECESSED LOW VOLTAGE DOWNLIGHTER
	MECHANICAL EXTRACTOR FAN FIGURE DENOTES EXTRACT RATE OF L/SEC
	T.V. AERIAL POINT
	B.T. OUTLET
	ELECTRICITY METER
	SMOKE DETECTOR / HEAT DETECTOR
NOTE : POWER POINTS SHOWN BLACKENED WHEN LOCATED ABOVE WORKTOP HEIGHT.	

VENTILATION:

ALL MECHANICAL EXTRACT FANS TO BE 'XPELAI' OR SIMILAR AND APPROVED MECHANICAL EXTRACT FAN. KITCHEN TO BE VENTED BY MECHANICAL EXTRACT FAN CAPABLE OF PROVIDING A MINIMUM INTERMITTENT EXTRACTION RATE OF 60L/SEC AND CONTINUOUS OPERATION AT LOW SPEED TO PROVIDE 1 AIR CHANGE PER HOUR. UTILITY FAN TO BE CAPABLE OF PROVIDING A MINIMUM INTERMITTENT EXTRACTION RATE OF 30L/SEC AND CONSTANT OPERATION AT LOW SPEED TO PROVIDE 3 AIR CHANGES PER HOUR. FANS TO BE DUCTED TO EXTERNAL AIR, DUCTING THROUGH EXTERNAL WALL AND TERMINATING WITH A GRILLE.

ALL WINDOWS TO APARTMENTS TO BE FITTED WITH TRICKLE VENTS IN HEAD OF THE FRAME TO PROVIDE A MINIMUM PERMANENT VENTILATION OF 10,000MM² TO EACH 'ROOM' WITH AN AVERAGE THROUGHOUT OF 10,000MM² PER ROOM; OTHERWISE, 12,000MM² PERMANENT TRICKLE VENTILATION REQUIRED FOR A 'ROOM', AND 10,000MM² TO KITCHEN AND UTILITY.

Rev.	Description	Date
A	AMENDED	01.12.14

CLIENT
ALTERATIONS TO
121 SALTERS ROAD
WALLYFORD
EH21 8AQ

TITLE
PROPOSED FIRST
FLOOR PLAN

Date APRIL 2011

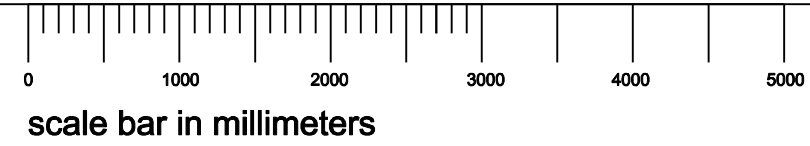
Drawn GH Checked

Scale 1:50 @ A3

Drwg No. 1056/011 Rev. A

NOTES

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holstead lukas partnership
architects

architects
35 Joppa Road
Edinburgh
EH15 2HB
0131 66 99 300
E. hlparchitects@btconnect.com

VERTICAL CLADDING BATTENS
ACTING AS CAVITY BARRIERS PROVIDING MIN. 30min. FIRE
RESISTANCE. 50 X 50 TSW @ 400CRS.
CAVITY BARRIERS ALSO TO BE PROVIDED AT ALL
CORNERS AND AROUND THE JAMBS AND SILL OF ALL
EXTERNAL DOOR AND WINDOW OPENINGS.

scale bar in millimeters

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DATED
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ELECTRICAL SOCKETS/OUTLETS TO BE
POSITIONED A MINIMUM OF 400mm ABOVE
FINISHED FLOOR LEVEL. A MINIMUM OF 350mm
FROM INTERNAL CORNERS. A MINIMUM OF 150mm
ABOVE WORKTOPS. ANY CONCEALED SWITCHES TO
HAVE SEPERATE ACCESSIBLE SWITCH. LIGHT
SWITCHES TO BE POSITIONED BETWEEN 900 -
1100mm FROM FINISHED FLOOR.

SMOKE DETECTION: HEAT DETECTOR (HD) TO BE
LOCATED IN KITCHEN AT CEILING
LEVEL AND TO BE MAINS OPERATED WITH 72HR
BATTERY BACK-UP. TO BS 5446: PART 2: 2003.

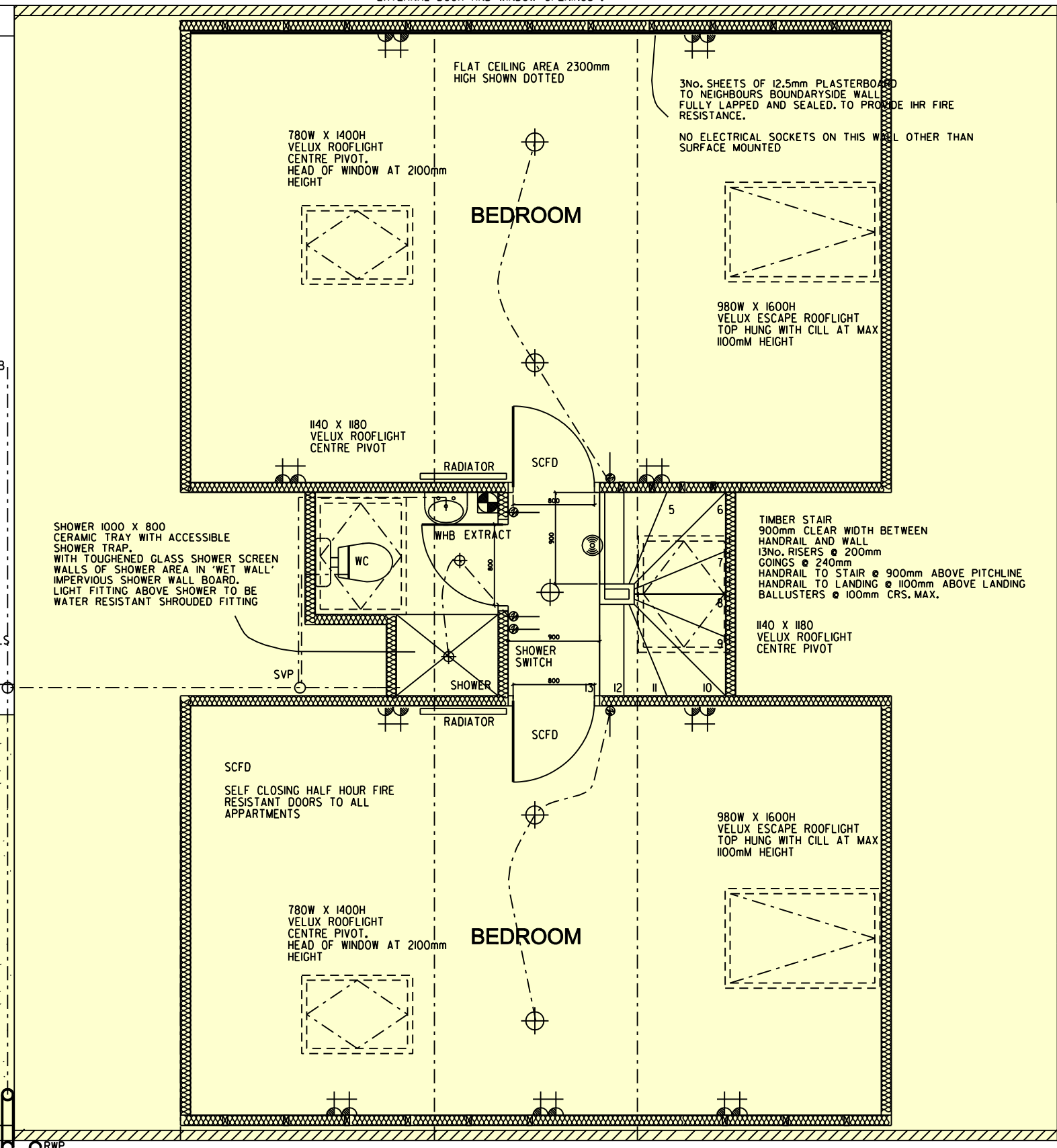
ALL INSTALLATIONS TO BE IN ACCORDANCE WITH
BS 5446: PART 1: 2000.
ALL HD's & SD's TO BE INTERLINKED. SD's TO
BE MIN. 300mm FROM
LIGHTS AND WALLS. SMOKE DETECTOR BE
ON SEPERATE CIRCUIT

ALSO PROVIDE ONE SMOKE DETECTOR TO
HABITABLE ROOM TO BS 5839: PART 6: 2004

EXISTING FLAT ROOF

AIR INFILTRATION: ALL NEW PLASTERWORK
TAPED AND SEALED AT ABUTMENTS WITH
WALLS AND CEILINGS. INSTALL TWO PART
MASTIC AT ALL ABUTMENTS WITH DOORS AND
WINDOW FRAMES IN ALL LOCATIONS.

NON-LOADBEARING WALL TO COMPRISE 100x50mm
S/W FRAME @ 450mm CRS WITH 12.5mm
PLASTERBOARD BOTH SIDES AND ISOWOOL
INSULATION PACKED TIGHT BETWEEN ALL VOIDS
AND STUDS IN ALL LOCATIONS. ALL JOINTS AND
ABUTMENTS TO BE TAPED AND SEALED AND WALLS
TO BE 3mm SKIM COAT FINISHED TO ROOM SIDES
IN ALL LOCATIONS.



ELECTRICAL KEY

	LIGHT SWITCH, No. OF WAYS INDICATED.
	13A SINGLE SWITCHED SOCKET OUTLET ()
	13A DOUBLE SWITCHED SOCKET OUTLET ()
	NEW SLIMLINE PANEL RADIATOR (TO CLIENTS SPECIFICATION)
	PENDANT LIGHT FITTING
	RECESSED LOW VOLTAGE DOWNLIGHTER
	MECHANICAL EXTRACTOR FAN FIGURE DENOTES EXTRACT RATE OF L/SEC
	T.V. AERIAL POINT
	B.T. OUTLET
	ELECTRICITY METER
	SMOKE DETECTOR / HEAT DETECTOR
NOTE : POWER POINTS SHOWN BLACKENED WHEN LOCATED ABOVE WORKTOP HEIGHT.	

Rev.	Description	Date
A	AMENDED	01.12.14

CLIENT
ALTERATIONS TO
121 SALTERS ROAD
WALLYFORD
EH21 8AQ

TITLE
PROPOSED SECOND
FLOOR PLAN

Date JULY 2014

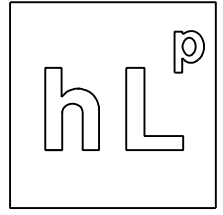
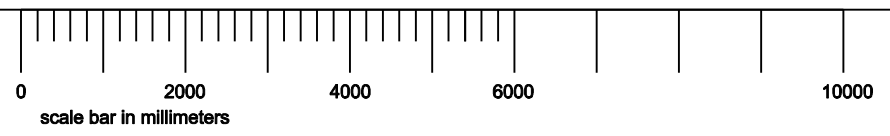
Drawn GH Checked

Scale 1:50 @ A3

Drwg No. 1056/012 Rev. A

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architects
35 JOPPA ROAD
EDINBURGH EH15 2HB

T. 0131 669 9300
E. hlparchitects@btconnect.com

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DATED 04.12.2012
SIGNED HLP ARCHITECTS

Rev.	Description	Date
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CLIENT
ALTERATIONS TO
121 SALTERS ROAD
WALLYFORD
EH21 8AQ

TITLE
SECTION A-A

Date	DECEMBER 2012	
Drawn	MPJM	Checked
Scale	1:100 @ A3	
Drwg No.	1056/013	

FLAT CEILING AREA & PITCHED ROOF AREAS:
U-VALUE ACHIEVED = 0.13W/m2K
80mm KINGSPAN THERMAPITCH TPI0 - CONTINUOUS LAYER 80mm KINGSPAN THERMAPITCH TPI0 - BETWEEN RAFTERS
500g VAPOUR BARRIER
12.5mm PLASTERBOARD WITH 3mm SKIM COAT FINISH.

EXTERNAL WALL
U-VALUE ACHIEVED = 0.18W/m2K

TYVEK SUPRO MUST BE INSTALLED AND FIXED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND THE RELEVANT RECOMMENDATIONS OF BS 5534:2003 AND BS 8000-6:1990.

ROOF CONSTRUCTION TO COMPRISE:
INTERLOCKING TILES ON TREATED 22x50mm S/W BATTENS AND 38x38mm COUNTER BATTENS SIZED TO MANUFACTURERS RECOMMENDATIONS
TYVEK SUPRO UNDEFELT ON 150x18mm TRADITIONAL SARKING BOARDS. 3mm GAP BETWEEN BOARDS ON S/W RAFTERS ON 50mm AIR GAP.

NOTE: TYVEK SUPRO ALLOWS FULL VENTILATION OF ROOF TIMBERS - NO EAVES OR RIDGE VENTS REQUIRED.

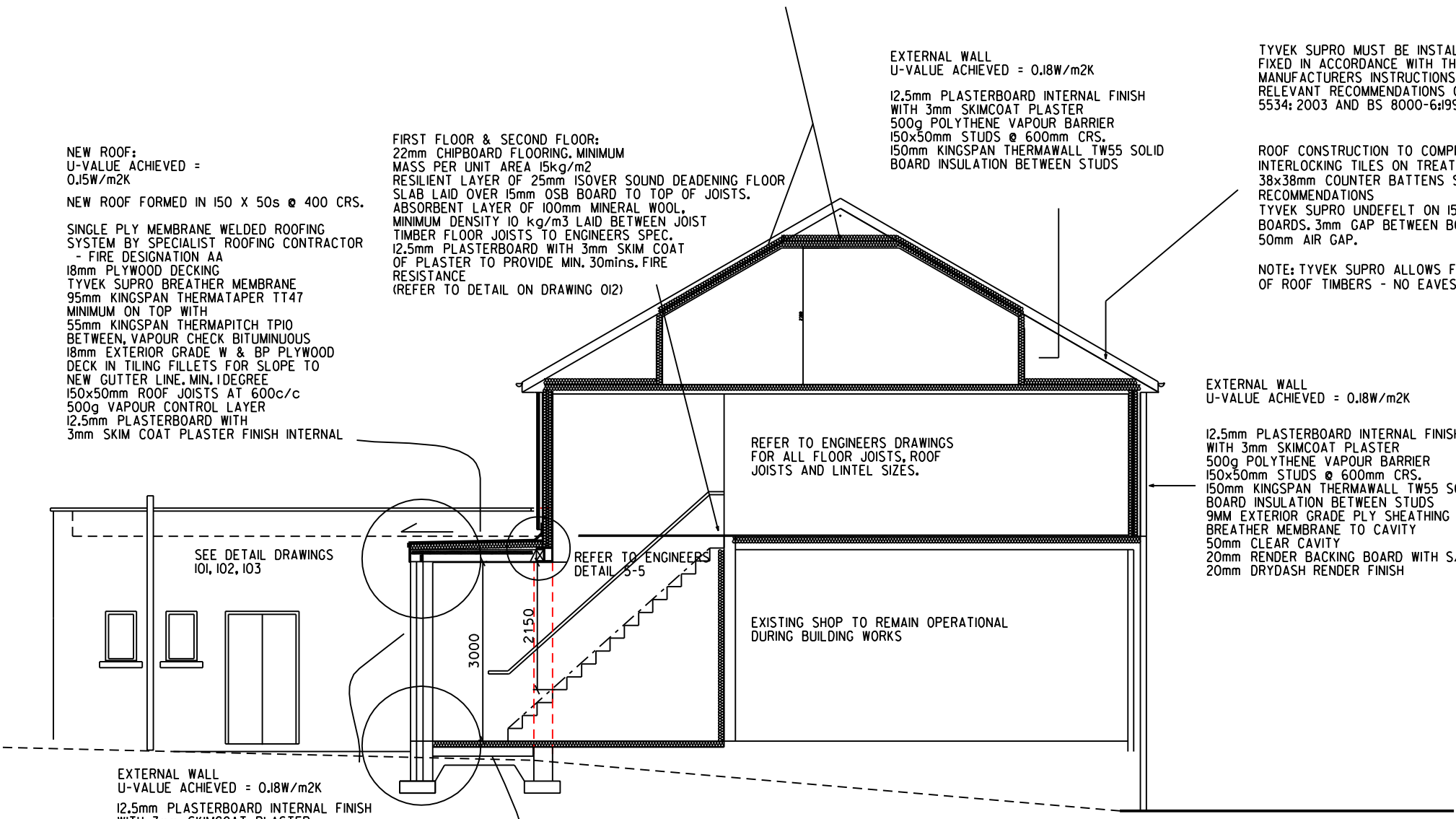
12.5mm PLASTERBOARD INTERNAL FINISH WITH 3mm SKIMCOAT PLASTER
500g POLYTHENE VAPOUR BARRIER
150x50mm STUDS @ 600mm CRS.
150mm KINGSPAN THERMAWALL TW55 SOLID BOARD INSULATION BETWEEN STUDS

EXTERNAL WALL
U-VALUE ACHIEVED = 0.18W/m2K

12.5mm PLASTERBOARD INTERNAL FINISH WITH 3mm SKIMCOAT PLASTER
500g POLYTHENE VAPOUR BARRIER
150x50mm STUDS @ 600mm CRS.
150mm KINGSPAN THERMAWALL TW55 SOLID BOARD INSULATION BETWEEN STUDS
9MM EXTERIOR GRADE PLY SHEATHING BREATHER MEMBRANE TO CAVITY
50mm CLEAR CAVITY
20mm RENDER BACKING BOARD WITH S/S MESH
20mm DRYDASH RENDER FINISH

FIRST FLOOR & SECOND FLOOR:
22mm CHIPBOARD FLOORING, MINIMUM MASS PER UNIT AREA 15kg/m2
RESILIENT LAYER OF 25mm ISOVER SOUND DEADENING FLOOR SLAB LAID OVER 15mm OSB BOARD TO TOP OF JOISTS.
ABSORBENT LAYER OF 100mm MINERAL WOOL, MINIMUM DENSITY 10 kg/m3 LAID BETWEEN JOIST
TIMBER FLOOR JOISTS TO ENGINEERS SPEC.
12.5mm PLASTERBOARD WITH 3mm SKIM COAT OF PLASTER TO PROVIDE MIN. 30mins. FIRE RESISTANCE.
(REFER TO DETAIL ON DRAWING 012)

NEW ROOF:
U-VALUE ACHIEVED = 0.15W/m2K
NEW ROOF FORMED IN 150 X 50s @ 400 CRS.
SINGLE PLY MEMBRANE WELDED ROOFING SYSTEM BY SPECIALIST ROOFING CONTRACTOR - FIRE DESIGNATION AA
18mm PLYWOOD DECKING
TYVEK SUPRO BREATHER MEMBRANE
95mm KINGSPAN THERMATAPER TT47 MINIMUM ON TOP WITH
55mm KINGSPAN THERMAPITCH TPI0 BETWEEN, VAPOUR CHECK BITUMINOUS
18mm EXTERIOR GRADE W & BP PLYWOOD DECK IN TILING FILLETS FOR SLOPE TO NEW GUTTER LINE. MIN. 1 DEGREE
150x50mm ROOF JOISTS AT 600c/c
500g VAPOUR CONTROL LAYER
12.5mm PLASTERBOARD WITH
3mm SKIM COAT PLASTER FINISH INTERNAL



REFER TO ENGINEERS DRAWINGS FOR ALL FLOOR JOISTS, ROOF JOISTS AND LINTEL SIZES.

REFER TO ENGINEERS DETAIL 3-5

EXISTING SHOP TO REMAIN OPERATIONAL DURING BUILDING WORKS

SEE DETAIL DRAWINGS 101, 102, 103

EXTERNAL WALL
U-VALUE ACHIEVED = 0.18W/m2K
12.5mm PLASTERBOARD INTERNAL FINISH WITH 3mm SKIMCOAT PLASTER
500g POLYTHENE VAPOUR BARRIER
150x50mm STUDS @ 600mm CRS.
150mm KINGSPAN THERMAWALL TW55 SOLID BOARD INSULATION BETWEEN STUDS
9MM EXTERIOR GRADE PLY SHEATHING BREATHER MEMBRANE TO CAVITY
50mm CLEAR CAVITY
100mm DENSE CONCRETE BLOCKWORK
20mm DRYDASH RENDER FINISH

NEW FLOOR:
U-VALUE ACHIEVED = 0.15W/m2K
22mm CHIPBOARD ON 100x50mm FLOOR BATTENS WITH 100mm KINGSPAN TPI0 UNDERFLOOR INSULATION BOARD 1200 GAUGE DPM. 125mm CONCRETE FLOOR SLAB WITH A142 MESH ON WELL COMPACTED TYPE 1 HARD CORE (MIN. 150mm)

BOILER NOTES:

- THE APPLIANCE MUST BE CONSTRUCTED AND INSTALLED BY A CORGIREGISTERED PLUMBER SO THAT IT OPERATES SAFELY.
- BOILER WILL COMPLY WITH GAS SAFETY (INSTALLATION & USE) REGULATION 1998 AND MANUFACTURERS RECOMMENDATIONS.
- FLUE TO BE MIN. 25mm FROM ANY COMBUSTIBLE MATERIAL.
- BOILER MUST BE MOUNTED ON A NON-COMBUSTIBLE BACKING BOARD OF MIN. 25mm THICKNESS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- FLUE DOES NOT PASS THROUGH AND IS 25mm AWAY FROM ANY COMBUSTIBLE MATERIALS.
- FLUE TO COMPLY WITH BS 5440-1:2000.
- FAN ASSISTED FLUE AT LEAST 300mm FROM ANY OPENING AND AT LEAST 150mm FROM SANITARY PIPEWORK.
- AIR FOR COOLING & COMBUSTION WILL COMPLY WITH BS 5440 : PT2 : 2000.
- THE BOILER MUST BE LOCATED A SAFE DISTANCE OF 75mm FROM ANY COMBUSTIBLE MATERIAL.
- THE 'BLOW OFF' VENT PIPE FOR THE BOILER SHOULD EXTERNALLY BE 'SWAN NECKED' BACK TOWARDS THE BUILDING IN ORDER TO AVOID ANY DANGER TO THE PUBLIC FROM THE DISCHARGE OF STEAM OR HOT WATER. ANY DISCHARGE MUST NOT ENDANGER ANYONE INSIDE OR OUTSIDE THE BUILDING.
- ALL HEATING PIPES USED FOR THE SUPPLY OF HOT WATER MUST BE SUITABLY INSULATED AGAINST HEAT LOSS.

WRITTEN INFORMATION ON OPERATION AND MAINTENANCE OF BOILER TO BE PROVIDED TO OCCUPIER TO ENSURE OPTIMUM ENERGY EFFICIENCY

COMMISSIONING OF HEATING & HOT WATER TO BE TESTED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS TO ENSURE OPTIMUM ENERGY EFFICIENCY

SAFETY RELIEF DISCHARGE PIPE FROM BOILER TO BE TAKEN TO A PLACE OF SAFETY AT HIGH LEVEL. TURNED BACK TO WALL AT POINT OF EXIT THROUGH EXTERNAL WALL. BLOW OFF TO BE VISIBLE.

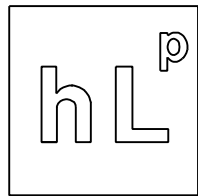
HEATING SYSTEM IS CAPABLE OF MAINTAINING A TEMPERATURE OF 21°C IN AT LEAST 1 APARTMENT AND 18°C ELSEWHERE, WHEN THE OUTSIDE TEMPERATURE IS MINUS 10°C.

ENSURE THAT A SUITABLE LABEL IS POSITIONED BESIDE THE BOILER, OF DURABLE MATERIAL INDELIBLY MARKED TO INDICATE THE DATE OF INSTALLATION AND THE LIMITATIONS OF USE FOR THE BOILER. ALSO ENSURE THAT FULL INSTRUCTIONS MANUAL AND MANUFACTURERS WARRANTY LITERATURE ARE PROVIDED ON SITE FOLLOWING INSTALLATION, FOR THE USER

BOILER CONTROLS:

BOILER INTERLOCK, AUTOMATIC BYPASS VALVE
THE RADIATORS MUST BE CONTROLLED BY ROOM THERMOSTATS OR THERMOSTATIC RADIATOR VALVES; AND
A MANUALLY ADJUSTABLE 7 DAY AUTOMATIC TIMING DEVICE OR DEVICES TO CONTROL THE PERIODS OF OPERATION OF THE HEATING DEVICE.

holstead lukas partnership
architects



architects

35 JOPPA ROAD
EDINBURGH EH15 2HB

T. 0131 669 9300
E. hlpartners@btconnect.com

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SIGNED.....

CLIENT

ALTERATIONS TO
121 SALTERS ROAD
WALLYFORD

TITLE

PROPOSED
STREETSCAPE ELEVATIONS

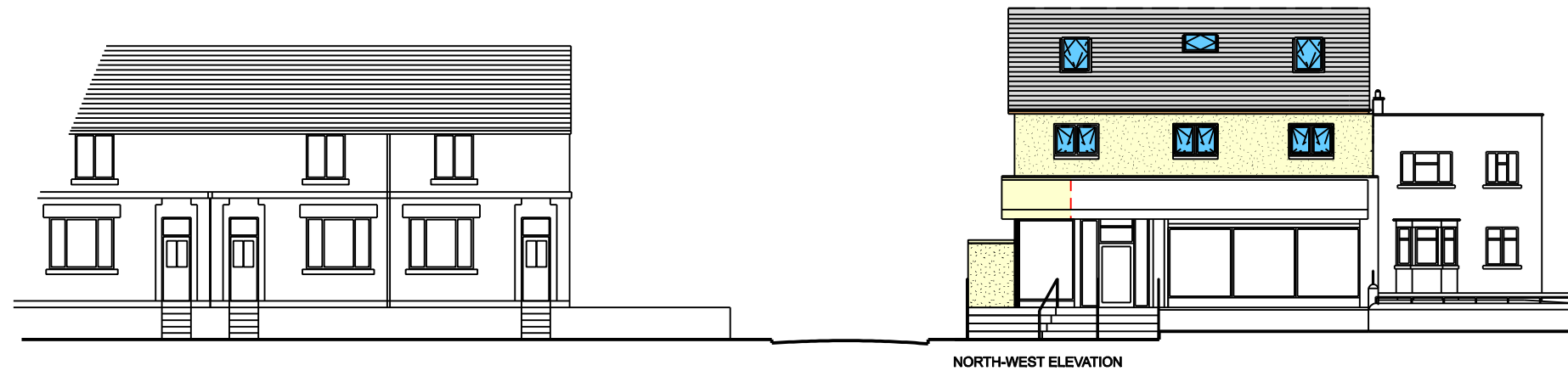
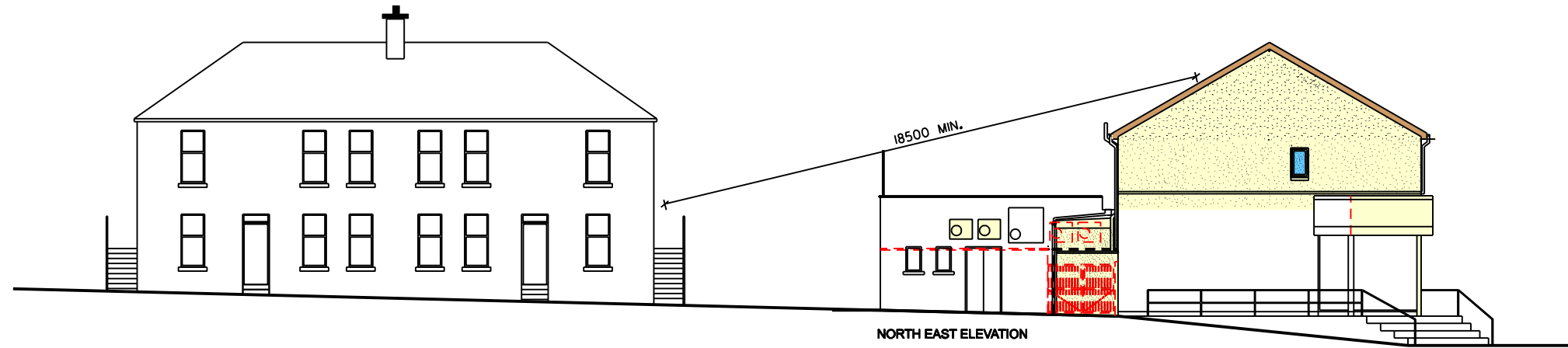
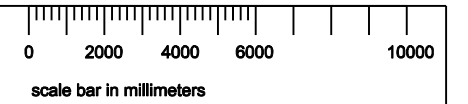
Date NOV. 2014

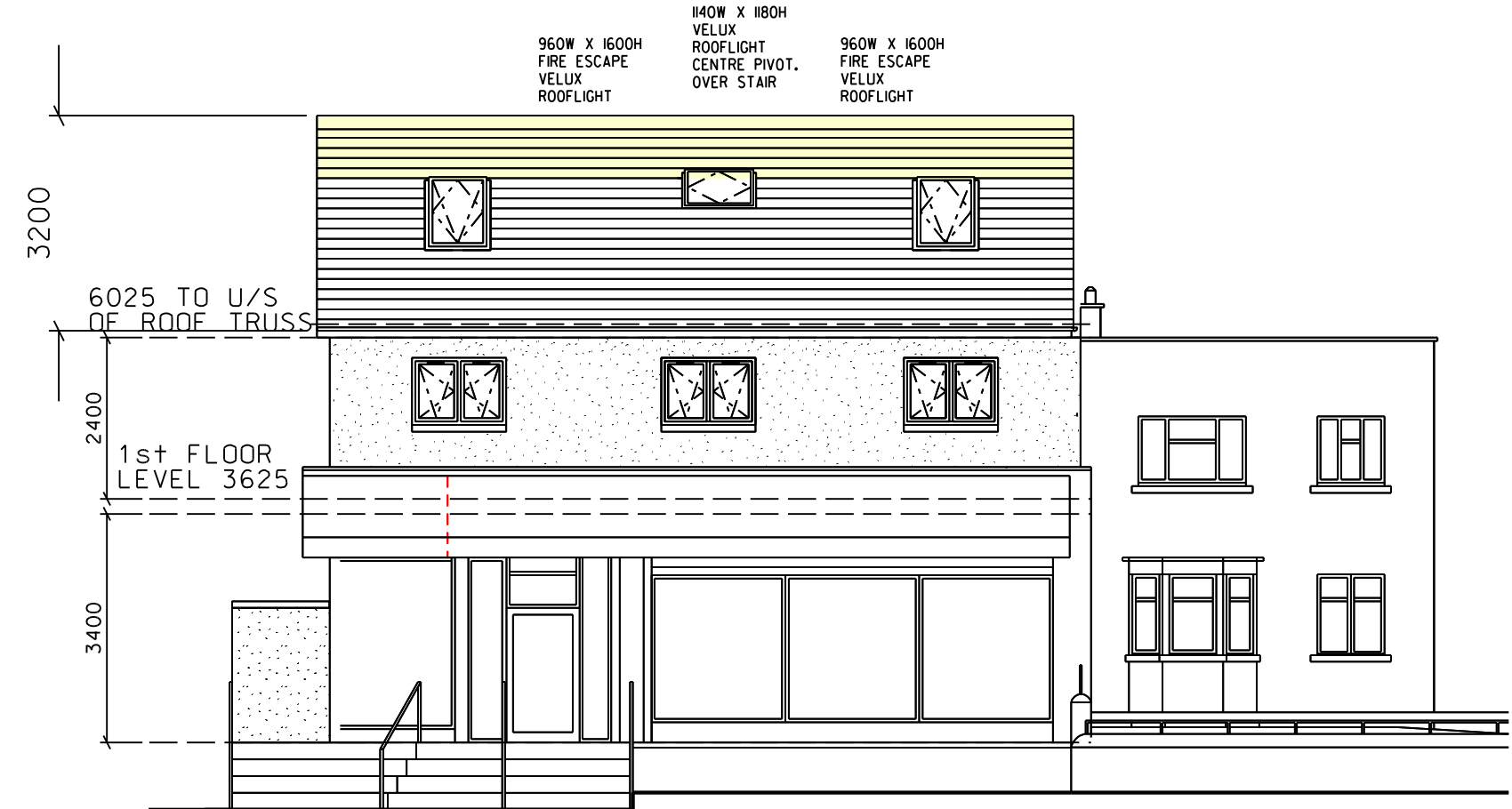
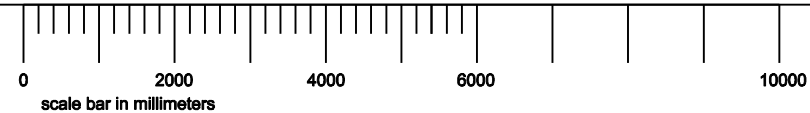
Drawn GH Checked

Scale 1:200 @ A3

Drwg No. 1056/014 Rev

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PROPOSED NORTH WEST ELEVATION



NORTH WEST ELEVATION AS APPROVED IN 11/00278/P

PROPOSED EXTERNAL MATERIALS

ROOF:
INTERLOCKING CONCRETE ROOF TILE

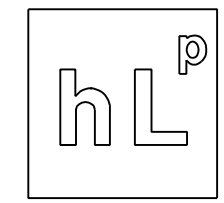
EXTERNAL FINISH:
DRYDASH RENDER FINISH TO MATCH ADJACENT PROPERTY

WINDOWS
WHITE DOUBLE GLAZED uPVC

WINDOWS ON THE NORTH-EAST ELEVATION TO BE OBSCURE GLAZED.

EXTERNAL SIGNAGE TO MATCH EXISTING WITH SQUARED OFF CORNER FOLLING THE LINE OF THE PROPOSED UPPER FLOOR WALLS.

holstead lukas partnership architects



architects
9 Maitland Avenue, Musselburgh
Edinburgh, EH21 6DZ
T. 0131 665 9070
E. hlpartners@btconnect.com

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DATED

SIGNED.....

Rev.	Description	Date

CLIENT

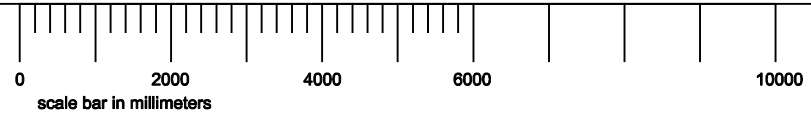
ALTERATIONS TO
121 SALTERS ROAD
WALLYFORD
EH21 8AQ

TITLE

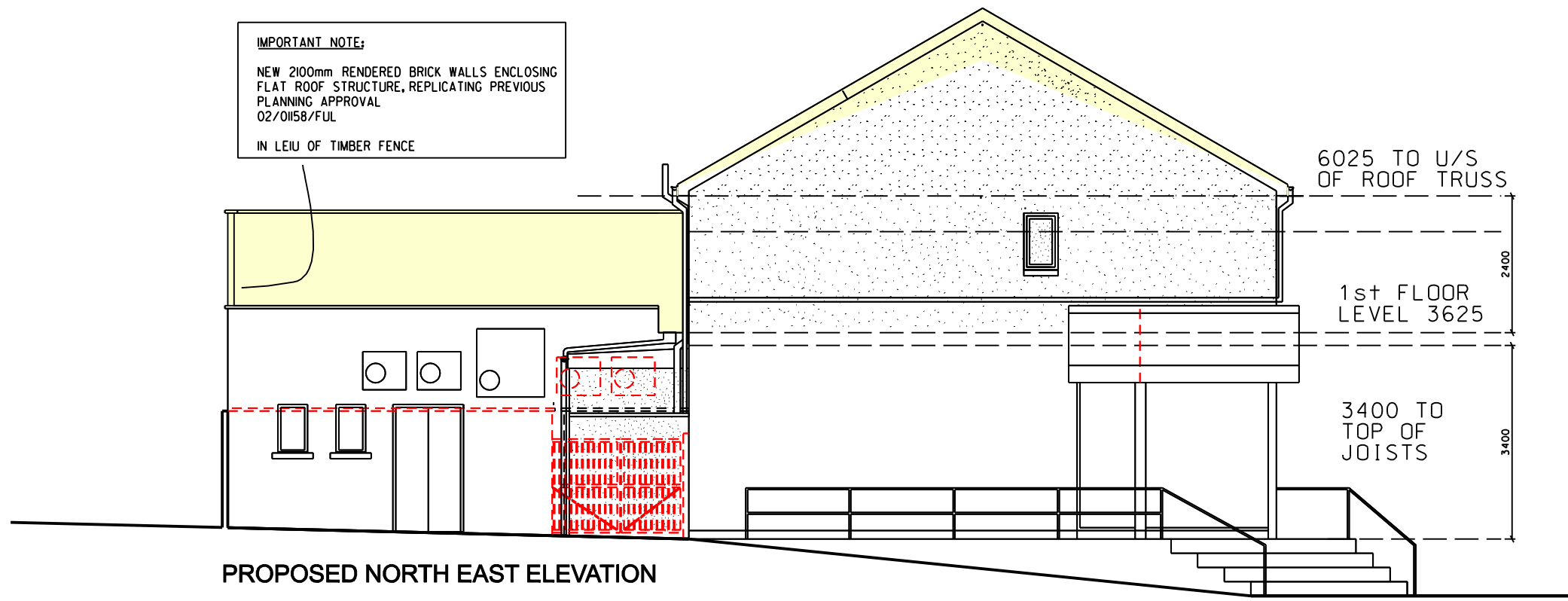
PROPOSED AND PREVIOUSLY APPROVED
NORTH WEST ELEVATIONS

Date	MARCH 2014	
Drawn	CG	Checked
Scale	1:100 @ A3	
Drwg No.	1056/015	Rev.

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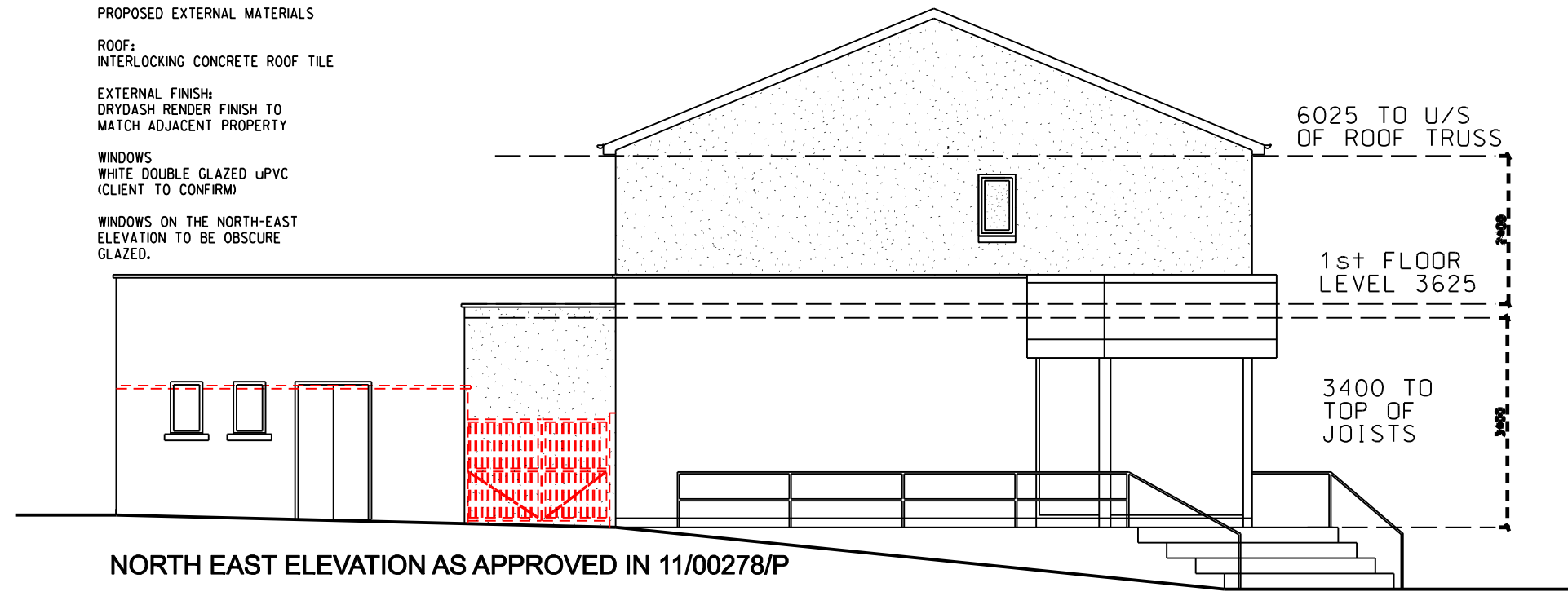


IMPORTANT NOTE:
 NEW 2100mm RENDERED BRICK WALLS ENCLOSING
 FLAT ROOF STRUCTURE, REPLICATING PREVIOUS
 PLANNING APPROVAL
 02/01158/FUL
 IN LEIU OF TIMBER FENCE



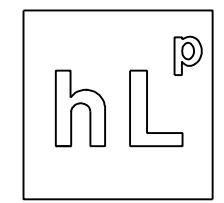
PROPOSED NORTH EAST ELEVATION

PROPOSED EXTERNAL MATERIALS
 ROOF:
 INTERLOCKING CONCRETE ROOF TILE
 EXTERNAL FINISH:
 DRYDASH RENDER FINISH TO
 MATCH ADJACENT PROPERTY
 WINDOWS
 WHITE DOUBLE GLAZED uPVC
 (CLIENT TO CONFIRM)
 WINDOWS ON THE NORTH-EAST
 ELEVATION TO BE OBSCURE
 GLAZED.



NORTH EAST ELEVATION AS APPROVED IN 11/00278/P

holstead lukas partnership
 architects



architects
 9 Maitland Avenue, Musselburgh
 Edinburgh, EH21 6DZ
 T. 0131 665 9070
 E. hlpartners@btconnect.com

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Rev.	Description	Date
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CLIENT
 ALTERATIONS TO
 121 SALTERS ROAD
 WALLYFORD
 EH21 8AQ

TITLE
 PROPOSED AND PREVIOUSLY
 APPROVED
 NORTH EAST ELEVATIONS

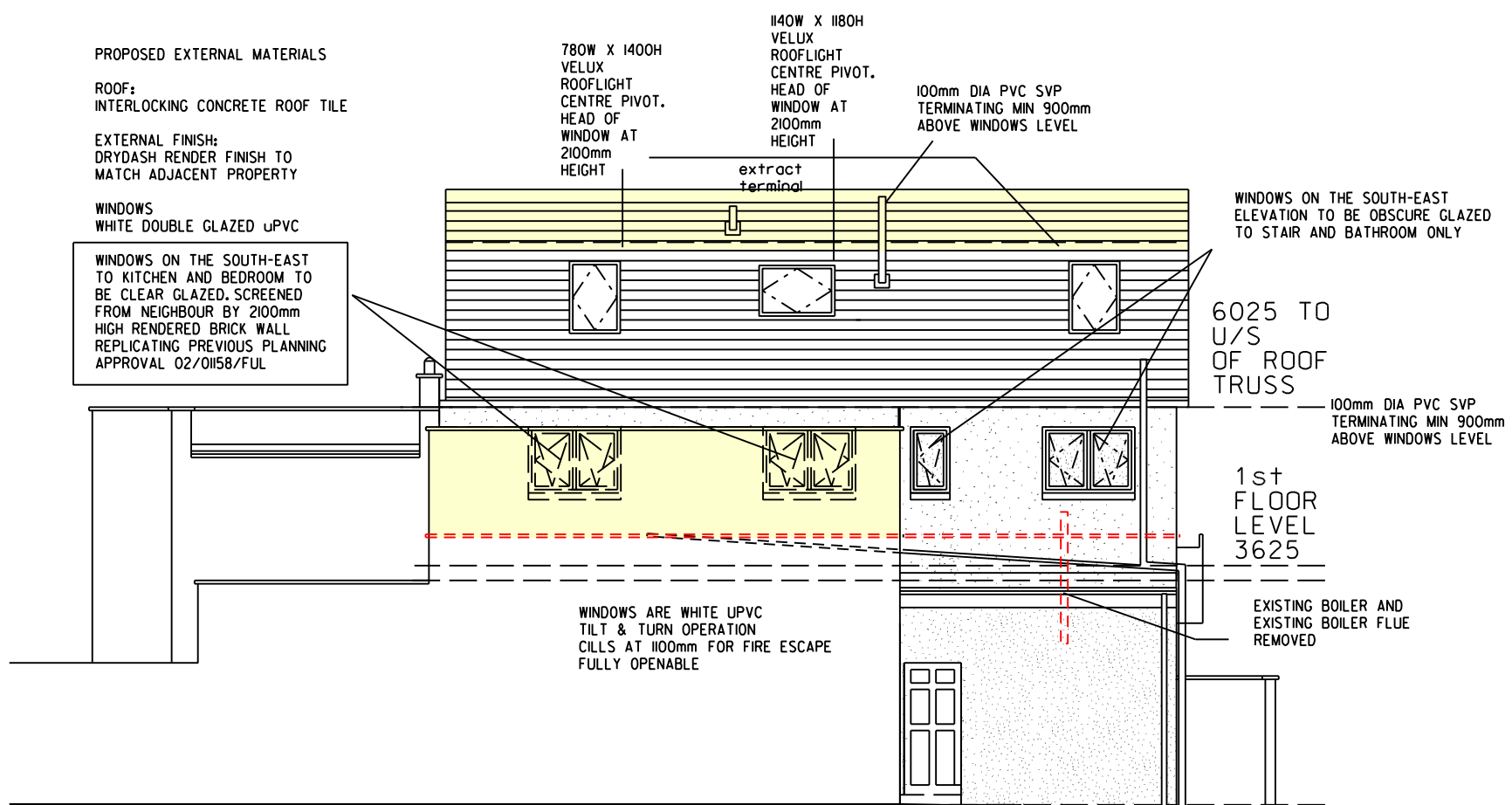
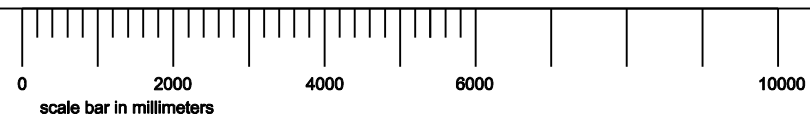
Date MARCH 2014

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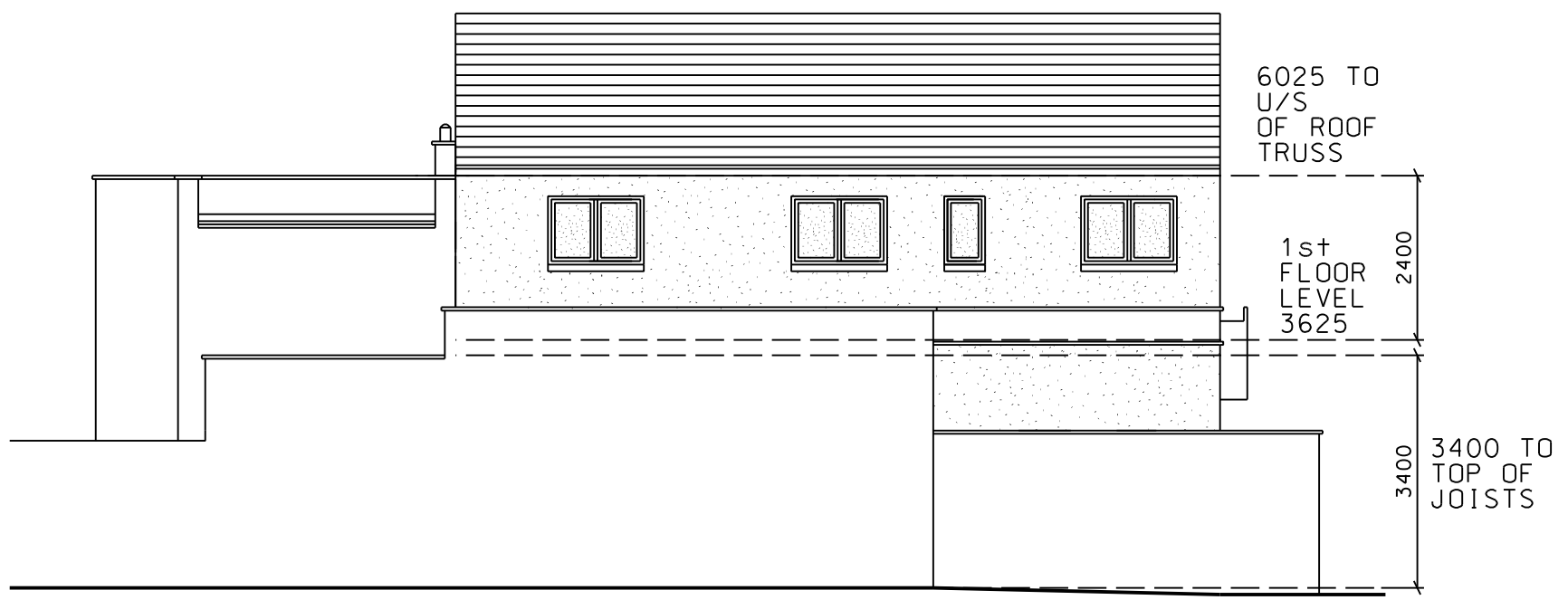
Scale 1:100 @ A3

Drwg No. 1056/016 Rev.

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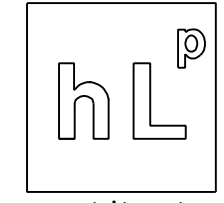


PROPOSED SOUTH EAST ELEVATION



SOUTH EAST ELEVATION AS APPROVED IN 11/00278/P

holstead lukas partnership architects



architects
9 Maitland Avenue, Musselburgh
Edinburgh, EH21 6DZ
T. 0131 665 9070
E. hlpartners@btconnect.com

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DATED

SIGNED.....

Rev.	Description	Date
------	-------------	------

CLIENT

ALTERATIONS TO
121 SALTERS ROAD
WALLYFORD
EH21 8AQ

TITLE

PROPOSED AND PREVIOUSLY APPROVED SOUTH EAST ELEVATIONS

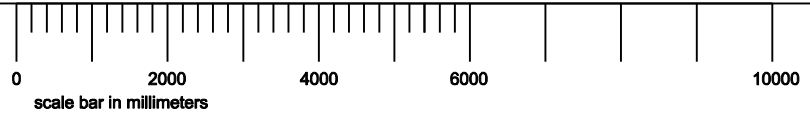
Date MARCH 2014

Drawn CG Checked

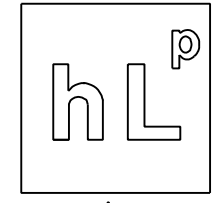
Scale 1:100 @ A3

Drwg No. 1056/017 Rev.

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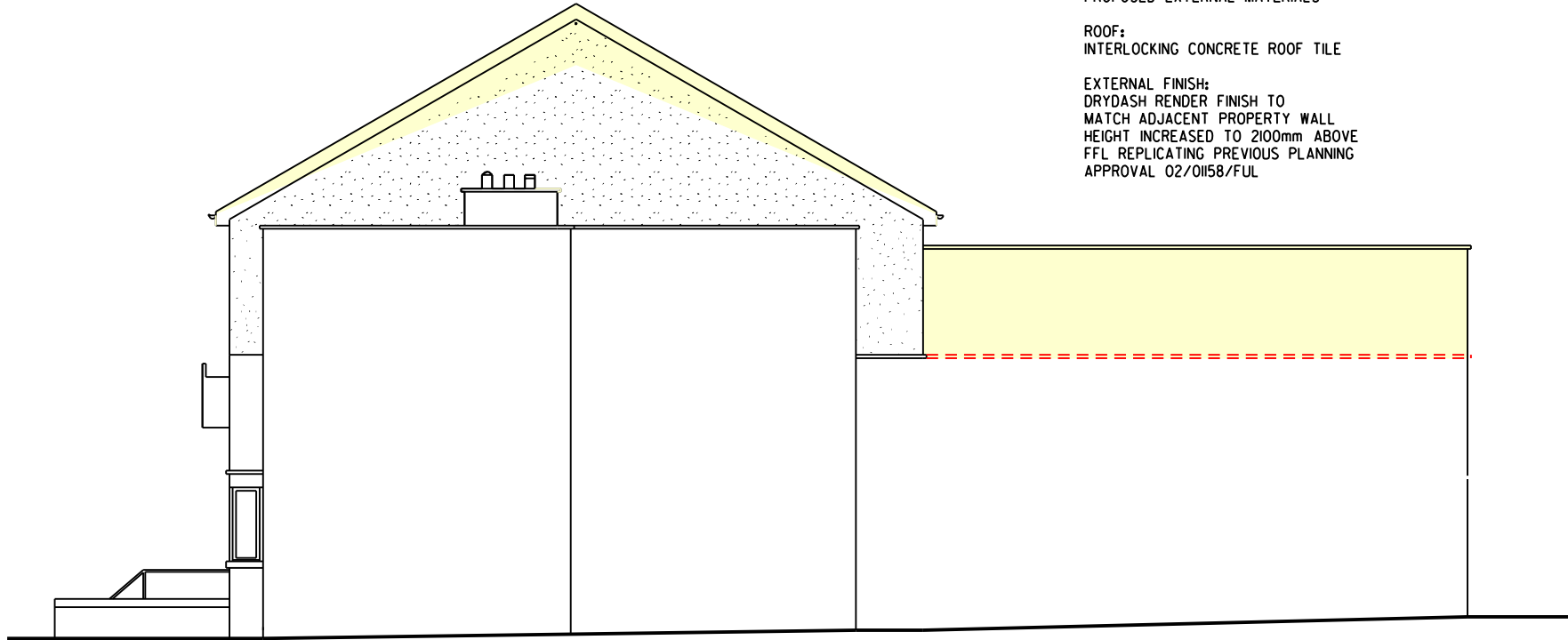
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architects



architects
9 Maitland Avenue, Musselburgh
Edinburgh, EH21 6DZ
T. 0131 665 9070
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PROPOSED EXTERNAL MATERIALS
ROOF:
INTERLOCKING CONCRETE ROOF TILE

EXTERNAL FINISH:
DRYDASH RENDER FINISH TO
MATCH ADJACENT PROPERTY WALL
HEIGHT INCREASED TO 2100mm ABOVE
FFL REPLICATING PREVIOUS PLANNING
APPROVAL 02/01158/FUL



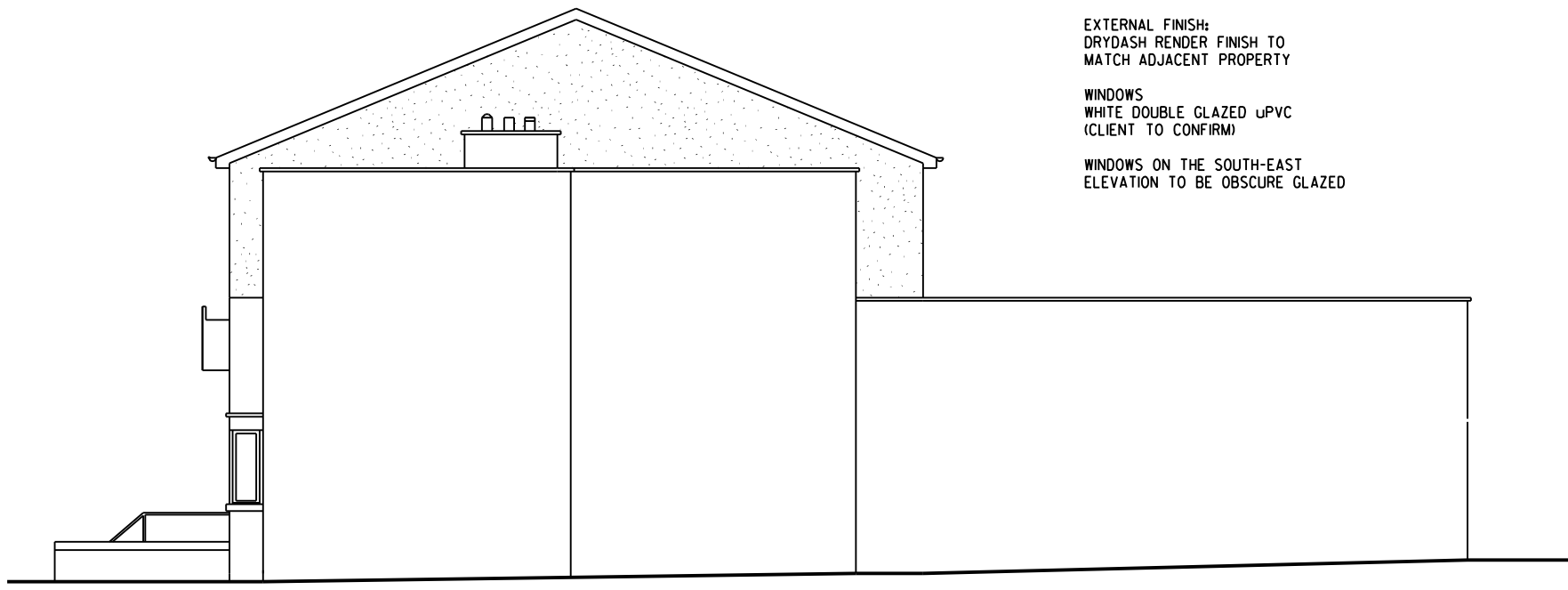
PROPOSED SOUTH WEST ELEVATION

PROPOSED EXTERNAL MATERIALS
ROOF:
INTERLOCKING CONCRETE ROOF TILE

EXTERNAL FINISH:
DRYDASH RENDER FINISH TO
MATCH ADJACENT PROPERTY

WINDOWS
WHITE DOUBLE GLAZED uPVC
(CLIENT TO CONFIRM)

WINDOWS ON THE SOUTH-EAST
ELEVATION TO BE OBSCURE GLAZED



SOUTH WEST ELEVATION AS APPROVED IN 11/00278/P

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DATED
SIGNED.....

Rev.	Description	Date
CLIENT ALTERATIONS TO 121 SALTERS ROAD WALLYFORD EH21 8AQ		
TITLE PROPOSED AND PREVIOUSLY APPROVED SOUTH WEST ELEVATIONS		
Date	MARCH 2014	
Drawn	CG	Checked
Scale	1:100 @ A3	
Drwg No.	1056/018	Rev.

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