



Local Review Body Appeal

REVIEW STATEMENT



**23/00832/P- Erection of 1 House and Associated Works
Castle Park Golf Club, Gifford, EH41 4PL**

JANUARY 2024

apt planning &
development

1 West Road
Whitekirk
EH42 1XA

www.apt-plandevolop.co.uk

Applications 21/01599/P

Erection of House and Associated Works – Castle Park Golf Club, Gifford, EH41 4PL
Local Review Body Support Statement – January 2024

- *This appeal gives the panel the opportunity to support an important local business that has overcome a string of obstacles to become a shining light for inclusivity, value for money and creating a welcoming and friendly destination for golfers and visitors alike.*
- *The creation of ancillary accommodation to house the owners, their children and the flexibility to offer rooms to guests or other staff members is vital in supporting and securing the ongoing success of the club.*
- *Castle Park Golf Club has always been a popular destination. A combination of an idyllic setting, reasonable membership and visitor green fees (far lower than the expensive golfing options along East Lothian's Golf Coast) and a warm welcome has ensured a growing membership, increased visitor revenues and a hugely positive relationship with the Help for Heroes charity, Stephen Gallacher Foundation and local schools including free membership for Under 16's.*
- *As the officer report confirms, the scale, design, siting and other technical matters are all acceptable. The new accommodation would simply appear as part of the existing cluster of buildings at Castle Park. There is no downside. This is not an application for an isolated new house in the countryside. There is a specific business need, and no negative impacts and no worrying or damaging precedent would be set.*
- *Specialist financial advisors have confirmed that the club has no bank debt, a growing membership, increasing visitor income and a credible and realistic approach to controlling costs. The future is bright and this is a vital part of that future success.*
- *The proposed on-site accommodation, integrally linked to the ongoing operation and success of Castle Park Golf Club, will create a home for the owners and operators of Castle Park who have fought so hard over the past 8 years to ensure it is a growing business with a strong sense of community.*
- *They work long hours and are the very heartbeat of the club. Being able to live on-site will make a huge difference to their ability to continue to do their very best for the continued success of Castle Park. The development of 26 holiday lodges on the adjacent site only amplifies this requirement for an on-site presence.*
- *Fundamentally, the proposals meet the terms of Policy 17 of NPF4 and Policies DC1 and DC4 of the East Lothian LDP*

Applications 21/01599/P
Erection of House and Associated Works – Castle Park Golf Club, Gifford, EH41 4PL
Local Review Body Support Statement – January 2024

EXECUTIVE SUMMARY

- a. The Local Review Panel has the advantage of looking at an application with a fresh perspective. It is neither bound by the original decision nor by a strict interpretation of planning policy which only provides a framework for decision making and does not dictate a black and white interpretation of those policies. **Regardless, we are unequivocal in our belief that the proposals accord with policy 17 of National Planning Framework 4 and Policy DC4 of the East Lothian local Development Plan.**
- b. National Planning Policy encourages Local Planning Authorities to take a positive approach to development that could contribute to sustainable economic growth. It is clear that the proposed ancillary accommodation at Castle Park Golf Club will be integral to the long-term success of the business in providing a home for the owners and operators alongside potential linked guest accommodation whilst being an acceptable form of development in terms of use, design and siting.
- c. **Castle Park Golf Club continues to be a popular and altruistic club, always friendly and welcoming to members and visitors alike, being proactive in its relationship with Help for Heroes and the Stephen Gallacher Foundation** (genuinely '*growing the game*' a much used term in golfing circles) whilst working with local schools and offering free membership to Under 16's.
- d. After purchasing the club in 2016 (following its closure, and the risk of it simply returning to farmland after 20 years as a golf club), the new owners have had to deal with the significant impacts of the COVID outbreak whilst trying to re-establish the club and improve the facilities, whether by making good their promise of a much-improved clubhouse, a covered driving range and an ongoing programme of course improvements.
- e. Not surprisingly this has been a huge strain on the club in terms of ongoing revenue during the pandemic, alongside the capital cost of implementing these improvements. The critical point is that membership and visitor revenue is increasing whilst the major capital outlays have been completed (and subject to a separate enabling application) and the club is in a healthy financial state moving forward.
- f. The construction of this linked house/ancillary accommodation is the final piece of the jigsaw and crucial in completing the vision for the club whilst also providing accommodation for the owners (who run the club on a 24/7 basis) and ancillary rooms for guests or staff members. Given the remoteness of the club, attracting staff can be problematic given the lack of affordable local properties whilst this remoteness also makes the club susceptible to vandalism and theft, something highlighted during the pandemic.

Applications 21/01599/P

Erection of House and Associated Works – Castle Park Golf Club, Gifford, EH41 4PL

Local Review Body Support Statement – January 2024

-
- g. The application was refused at the end of October 2023 and this seems to have been based on the response by the rural surveyor Laurence Gould (see attached) which whilst acknowledging the justification for the accommodation, doubts the viability and robustness of Castle Park Golf Club in being able to fund the development.
 - h. In advance of the determination of the application, Castle Park Golf Club had sought advice from their financial advisors (AGL Tax Solutions). However it appears that this response was not considered ahead of the determination of the application. AGL was further commissioned to respond to the reason for refusal and the Laurence Gould document and their response is also appended to this statement.
 - i. Fundamentally, the proposed ancillary accommodation is intrinsically linked to the ongoing operation of an acceptable use at a countryside location (namely the golf club and course). Given other improvements and initiatives, the club is able to fund the development and its completion will be a significant boost to the ongoing operations at Castle Park helping attract and secure staff whilst also helping with early morning starts, late evening finishes and round the clock security.
 - j. Castle Park Golf Club continues to be a shining light in providing an accessible, welcoming and affordable alternative option to the far more expensive courses and clubs elsewhere in East Lothian.
 - k. Golf is recognised as a vital aspect of East Lothian's attractiveness as a tourism and leisure destination, not to mention the more general health and wellbeing associated with taking exercise and being in the open air. The growth of Castle Park aligns closely with the Councils economic development and tourism strategies and actions plans.
 - l. **Castle Park remains a proactive and important community facility, fostering relationships with local schools and local and national charities and it is hoped that East Lothian Council will do all it can to support the venture and allow the development of this on-site accommodation.**

INTRODUCTION

1. **apt planning & development** has prepared this Review Statement on behalf of **Castle Park Golf Club** with regards to application **21/01599/P** seeking planning permission for the erection of a single house as ancillary accommodation to the existing golf club operation at Castle Park Golf Club near Gifford.

SITE CHARACTERISTICS, BACKGROUND AND PLANNING HISTORY

2. The site lies west of the 1st fairway/south of the driving range and adjacent to the existing Clubhouse. The application site currently houses two static caravans which are acting as temporary residential accommodation for the family whom manage and secure the site 24hrs, 7-days a week. The northern boundary of the site is defined by a dirt track used primarily for accessing the driving range to the west of the site.
3. There is little relevant planning history though planning permission has recently been granted for the development of 26 holiday lodges/pods immediately to the east of the golf club (ref: 21/01457/P). This development when completed will generate significant additional business for Castle Park Golf Club (including golfers and diners) further justifying the need for the owners/operators to be able to remain on site and be available at all times.
4. As the case officer report highlights there has been a more recent application seeking permission for the siting of temporary accommodation on a similar site to this proposal.
5. This application supercedes that earlier requirement with something far more credible and permanent, and with the interest of the positive impact it will have on the operation of Castle Park Golf Club for many years to come whilst all consultees have responded positively to the proposals.
6. Previously there were a series of planning permissions relating to the refurbishment and enhancements to the golf clubhouse and provision of golf related facilities. These works have been completed and represent a significant improvement on the facilities available prior to the current owners taking control of the golf club and course in 2016. It is a clear demonstration of their commitment to the success of the golf club.

Applications 21/01599/P
Erection of House and Associated Works – Castle Park Golf Club, Gifford, EH41 4PL
Local Review Body Support Statement – January 2024

APPLICATION 21/01599/P

7. Application **21/01599/P** was validated on 31st January 2022.
8. The Officer Report prepared in determining the application acknowledges the following:
 - a. The design and siting of the proposed accommodation is acceptable;
 - b. There would be no unacceptable landscape impacts or on the designated Yester designed landscape. It is acknowledged that the new build would sit comfortably with the existing built form at Castle Park Golf Club and simply appear as an integral part of that cluster of buildings;
 - c. There are no technical reasons (drainage, flooding, access, transportation) as to why planning permission should be refused;
 - d. There is no doubt that the property would be integrally linked to the existing countryside business. This is further highlighted by the fact that the building would be physically linked to the existing clubhouse – there would be direct access from the new annex into the existing clubhouse;
 - e. In referring to the specialist rural development consultant's report, they state that there are other examples of golf course operating without onsite accommodation. This may well be the case but Castle Park is particularly remote and in determining every application on its own merits, surely all we are considering is whether this proposal is acceptable in this instance;
 - f. The report questions why no evidence has been presented as to why other means of security are not appropriate. The location is remote. If CCTV was being extensively used, significant damage/loss would occur before either the owner or police could get to Castle Park. Regardless, the applicant does not have to show that other methods have been considered (they have) but are asking you to consider their chosen solution.
9. Furthermore, there report states that "*the proposed development would set an undesirable precedent for the development of new houses in similar circumstances elsewhere in East Lothian countryside, the cumulative effect of which would result in a detrimental impact on the rural character and amenity of the countryside of East Lothian.*"
10. The '*similar circumstances*' are of an isolated golf course and an owner looking to live on-site to their benefit and that of the business. We are not aware of any similar circumstance in East Lothian in terms of a golf course with similar location and operational characteristics.

Applications 21/01599/P

Erection of House and Associated Works – Castle Park Golf Club, Gifford, EH41 4PL
Local Review Body Support Statement – January 2024

11. The Council's own website lists 19 golf courses in East Lothian. All but three are located on or close to the East Lothian coast (hence the **Scotland's Golf Coast** title) and close to local towns and villages.
12. Whilst the Council's webpage identifies Castle Park on the map of the County, it does not provide any further information. Even in this small way, there is a clear lack of support with the other courses each having a link to their details but not for Castle Park. This is an opportunity to show some support for the club.
13. There are only three 'inland' courses at Haddington, Gifford and Castle Park. Of these three, Castle Park is unique in its secluded location (even though it is relatively close to Gifford, it is and feels very remote).
14. There is therefore no other similar circumstance that could create a relatable precedent and in any case, the precedent would be a positive one. Regardless and as we are told repeatedly, each planning application must be determined on its own merits and we believe that the merits of this application warrant planning permission being granted.
15. The officer report states that the actual physical development of the proposed house would not have any detrimental impact on the site or surrounding area (and in fact would be a significant enhancement on the current situation of vacant and underused buildings and space in and around the existing clubhouse).
16. We are not applying for an isolated house in the countryside, this is linked to and intrinsically part of the golf club business, a business that has demonstrated its commitment to both the saving and enhancement of the golf club as well as its role as a genuine community facility. It sets an entirely desirable precedent, and one which the council should be seeking to support at every opportunity.
17. Disappointingly, this application was refused on the 30th October 2023. A single reason for refusal was given and we address this below. Any appeal to the local review body must be lodged within three months of the determination of the application. As such these appeals have been lodged by the deadline of the 30th January 2024.

REASON FOR REFUSAL

The erection of a house on the application site would be new build housing development in the countryside of East Lothian for which:

- a) *it has not been demonstrated to be necessary to support the sustainable management of a viable rural business, or that there an essential need for a worker to live permanently at the site; and*
- b) *a need to meet the requirements of the operation of a viable agricultural, horticultural, forestry, countryside recreation, or other business, leisure or tourism use has not been demonstrated.*

The proposal is therefore contrary to Policies 16 and 17 of National Planning Framework 4 and DC1 and DC4 of the adopted East Lothian Local Development Plan 2018.

18. In responding to this sole reason for refusal, please refer to Appendix 1 of this statement which contains the response from Castle Park's financial advisor AGL Tax Solutions.
19. What the preceding commentary (and officer report) clarifies is that all other aspects of the proposed development are acceptable, whether design or access or setting etc. The sole reason for refusal is based on the findings of the rural surveyor who has never visited Castle Park Golf Club or engaged with the owner or their advisors.
20. In supporting our rural businesses, which help underpin other key elements of the East Lothian economy such as the tourism and economic development strategies, it is crucial that East Lothian Council does all it can to help and nurture these businesses and enable them to grow and survive, and especially after what has been a turbulent period including the COVID pandemic, credit crunch and earlier recession all of which were particularly damaging to the hospitality and leisure sectors.
21. Policy 17 of NPF4 deals with new homes in the Countryside (similar to Policy DC4 of the East Lothian Local Development Plan). In responding to Policy 17 of NPF4 we are also responding to DC1 and DC4 of the LDP. In responding to Policy DC1, this development does relate to a countryside recreation business. DC4 aligns with Policy 17 of NPF4.

Applications 21/01599/P
Erection of House and Associated Works – Castle Park Golf Club, Gifford, EH41 4PL
Local Review Body Support Statement – January 2024

22. In response to part (ii) of Policy 17, the proposed accommodation at Castle Park Golf Club will reuse an existing brownfield site which has no realistic of being returned to a natural state (farmland/open countryside). It is clearly part of the existing cluster of buildings and structures associated with the golf club.
23. Part (v) of Policy 17 is clearly the key to your consideration of this appeal and within this subsection, the specific phrase '**viable rural business**' is of critical importance. In the first instance, the re-opening of Castle Park in 2016 has seen a golf club survive and grow in the last 7/8 years. This in itself would suggest a viable business. Many businesses car debt of various sorts whether borrowings or overdrafts.
24. Given the COVID pandemic, it is hardly surprising that a remote golf club, starting from scratch after much publicised closure and change in ownership, would be taking a few years to become a profitable business. It was required to offer incentives, build confidence and invest in the key areas of the club. Added to this was the necessity and commitment to the programme of improvements overseen by the owners which required investment in the interest of the long term future of the golf club. Castle Park Golf Club deserves to be championed for surviving the pandemic and the impact it could have had on the business.
25. Despite these challenges, Castle Park has continued to stay true to its ethos of being accessible to as many people and groups as possible. This is most notable in its work with **Help for Heroes**, the **Stephen Gallacher Foundation**, granting free membership to Under 16's and its work with local schools in providing free lessons and summer camps. Not only is this level of altruism commendable, but also generates a level of goodwill that leads to new (paying) members and visitors. All of this takes time to evolve.
26. As has been mentioned, the owners of the club, Craig McLachlan and Pam Wilson, live and breathe the club. They are there when the doors open and when they shut again in the evening. In the summer months, these result in very long days and the ability to live on-would have a huge benefit to their quality of life which in turn leads to a better run club.
27. Add to this, the improved security and the increased business from the proposed lodge development and **the case for on-site accommodation is compelling** whilst also reassuring that the long term future of the club is in good hands.
28. The response from AGL Tax Solutions deals specifically with the points raised by the rural assessor (Laurence Gould Partnership Ltd.) but in summary:
 - a. The 2022 accounts show an improving situation with a loss of £10k but with a depreciation allowance of £39k;

Applications 21/01599/P
Erection of House and Associated Works – Castle Park Golf Club, Gifford, EH41 4PL
Local Review Body Support Statement – January 2024

- b. The club is being proactive in managing costs (including the owners being the key employees, not uncommon for small growing businesses);
 - c. The club has no bank debt (or other similar creditors). Debt is from an investment of capital from members, debt that is unlikely to be called-in in the near future;
 - d. Looking ahead, the lodge development is a significant positive factor both in the potential additional business/revenue for the golf club (visitor green fees and clubhouse spend on merchandise and food and beverage) and also in justifying the need to have on-site staff 24 hours a day.
 - e. Comment is made on the optimism of the projections relating to the lodge development. These assumptions and projections are a result of input from industry experts and in response to a thriving East Lothian tourism and visitor sector and the trend towards staycations and people enjoying the benefits of self-catering accommodation as opposed to hotels etc.
 - f. It is worth noting that revenue and profit generated from the lodges will help with the long term development and investment of the golf club and are not required to fund/justify the development of the ancillary accommodation.
29. It is worth quoting the concluding paragraph from the financial advisors response in full:
- "Castle Park Golf Club is a sustainable business backed by the Members and has every prospect of becoming profitable. Year on year increases in golfing outings using the club together and the ability to keep membership rates affordable will be a major factor in attracting membership to the club. The business also has no long-term requirements to meet debt as this is entirely capital provided by the Members in addition to which the salary/drawings requirements of the Members are modest. Construction of the lodges will only increase the prospect of attaining profitability in the short to medium term."*
30. Laurence Gould Partnership did not take the time to try and understand the actual business at Castle Park Golf Club. They did not visit the site or discuss the history and future proposals of the business with the owners or other advisors/professionals. Worst of all they have underplayed the value and potential of the lodge development on the adjacent land. Even if run as a separate business, the synergy and benefits between the two are obvious to see and can only help the long term viability and success of Castle Park Golf Club.

Applications 21/01599/P
Erection of House and Associated Works – Castle Park Golf Club, Gifford, EH41 4PL
Local Review Body Support Statement – January 2024

31. Therefore in responding to the sole reason for the refusal of application 21/01599/P, there is no doubt that the proposal relates to an appropriate countryside recreation business and is acceptably sited within the existing cluster of buildings on a brownfield site. All of the above (and Appendix 1) has clarified that the business is a long-term viable enterprise and that the project passes the criteria when tested against Policy 17 of National Planning Framework 4 and Policy DC4 of the East Lothian Local Development Plan.

Applications 21/01599/P
Erection of House and Associated Works – Castle Park Golf Club, Gifford, EH41 4PL
Local Review Body Support Statement – January 2024

SUMMARY

26. The proposals for ancillary staff and guest accommodation at Castle Park Golf Club, and subject to application 21/01599/P accord with Policy 17 of the National Planning Framework 4 and Policy DC4 of the East Lothian Local Development Plan.
27. As the officer report confirms, all design, siting and technical considerations are acceptable. There is nothing stopping the development proceeding. The new building would simply appear as (an attractive) part of the Castle Park Golf Club cluster of buildings with no unacceptable impacts.
28. The sole reason for refusal relates to what we consider to be a misguided report from the Council's rural assessors Laurence Gould Partnership which has incorrectly thrown doubt on the viability of the business and its ability to fund the construction of the house. Our own response by AGL Tax Solutions is appended to this statement and clarifies that Castle Park Golf Club is a viable business and that a growing membership, increasing visitor spend and the benefits from the proposed lodge development on the adjacent site all point to a bright future.
29. In addition, the owners of the Golf Club, who saved it from closure in 2016, have been true to their commitment in improving the club whether through the investment in a far superior clubhouse and the continued improvements to the facilities and course. They have weathered the storm of the COVID pandemic and are now experiencing the year on year growth in membership and visitor spend.
30. The Club offers fantastic value for money in the face of the more famous venues along the coast line, improving the opportunities for those wishing to play golf but unable to afford the staggering green fees associated with those other courses. The Club also has a wonderful relationship with organisations such as Help for Heroes and the Stephen Gallacher Foundation whilst offering free membership of all Under 16's and working throughout the year with local schools.
31. The benefits are clear to see, making golf accessible to all and the associated health and wellbeing benefits. It is a true community facility and the providing of on-site accommodation is a vital part in the continued growth and evolution of the club. As stated above, the proposals meet the terms of the key planning policies, and we hope that the Local Review Panel agrees and grants planning permission.

21/01599/P – CASTLE PARK GOLF CLUB

LRB APPEAL STATEMENT

APPENDIX 1

LETTER FROM AGL TAX SOLUTIONS

2A Station Yard
HADDINGTON
EH41 3PP

e. info@agltaxsolutions.com

To whom it may concern

23 January 2023

Dear Sirs

www.agltaxsolutions.com

Castle Park Golf and Leisure LLP

As accountants to the above, we have been asked to comment on the report prepared by Laurence Gould Partnership Limited into the viability of the above enterprise.

For clarification, the balance sheet figures in the accounts to January 2021 examined in the report contain the following.

Creditors due within 1 Year – all but £20,000 relates to transactions with members which, although short term debt, is unlikely to be called in.

Long term debt relates entirely to capital introduced by members.

The LLP has no bank or similar debt.

Looking at the issues raised in particular;

- 1) There is no doubt that, as with many golf clubs, the trading position has been difficult, particularly over the Covid period, however the 2022 accounts show a turnover of £199k (including grants of £23,950) against expenditure of £ 209k (including depreciation of £39k) which demonstrates continued improvement in the trading position as things return to a post Covid world.
- 2) Again, as with all businesses, cost management is vital in ensuring the long term viability of the business and as can be seen from the 2022 figures above, Castle Park Golf Club continues to make important strides in keeping costs under control.
- 3) We are unsure what point the report is trying to make here as all businesses struggled in 2021 and any Covid grants were designed to alleviate that and replace income lost as a result of closures. The fact that Castle Park Golf Club turnover included Government grants is, we contend, irrelevant.
- 4) The debtors falling due within one year figure includes the members current accounts which total £433k. This again has no relevance to the turnover figure and is a misunderstanding of the nature of partnership accounts.
- 5) As mentioned above, all but £20,000 of the creditors figure relates to monies introduced by members, mainly as long term capital contributions. Castle Park Golf Club has no bank or similar debt and the balance sheet shows a healthy position.
- 6) The statement here is correct but simply demonstrates that the members are fully committed and able to support the business going forward.

As to the healthy position of the business not being down to trading success, whilst this may be the case here, and in a great many businesses during the period concerned, it is not on its own the measure of whether a business is viable or not.

Turning to the new lodge development and the financing of the lodges and new house, the lodges in particular will be self-funding under the S75 agreement relating to the erection and sale of several dwelling houses on land currently owned by a wholly owned subsidiary of the LLP (Castle Park Homes (Gifford) Ltd). The new accommodation will in fact be an extension of the existing clubhouse for the provision of on-site accommodation providing not only additional security but also assist with the staffing and organisation/ management of the club in what is a very rural location.

We would also comment on the view expressed that the lodge projections appear ambitious. The projections were prepared based on input from experienced sources in this field and in fact have been prepared on a conservative basis based on that input. The potential input from the lodges is, we believe significant, not only to the Golf Club but also to the wider economic benefit of the county. Any profits from the lodges is also not required to cover any capital costs.

Overall therefore, we would strongly argue that the viability test contained in Policy DC4 is met and that viability is not restricted to profitability or building equity but includes "perform as expected" as quoted in the report. Castle Park Golf Club is a sustainable business backed by the Members and has every prospect of becoming profitable. Year on year increases in golfing outings using the club together and the ability to keep membership rates affordable will be a major factor in attracting membership to the club. The business also has no long-term requirements to meet debt as this is entirely capital provided by the Members in addition to which the salary/drawings requirements of the Members are modest. Construction of the lodges will only increase the prospect of attaining profitability in the short to medium term.

Based on those facts and the position of many other golf clubs throughout Scotland, Castle Park Golf & Leisure LLP is, in our opinion, a viable business which will serve the East Lothian community well over many years.

On a final point, I understand that the report has been prepared without any on site visit to the business which seems surprising given the importance of the matter.

Yours faithfully

A large rectangular black redaction box covering a signature.

Managing Partner
For and on behalf of AGL Tax Solutions LLP

Castle Park House

Design & Access Statement



Craig McLachlan

January 2022

LBX

This design statement has been prepared to support the planning application for a new build dwelling to support the operation of the Golf Club at Castle Park Golf Course, Gifford.

Contents

- 01 Introduction*
- 02 The Site*
- 03 Planning Context*
- 04 Emerging Proposals*

01 Introduction

Section Contents

[01 / 1 Overview](#)

[01 / 2 The Team](#)



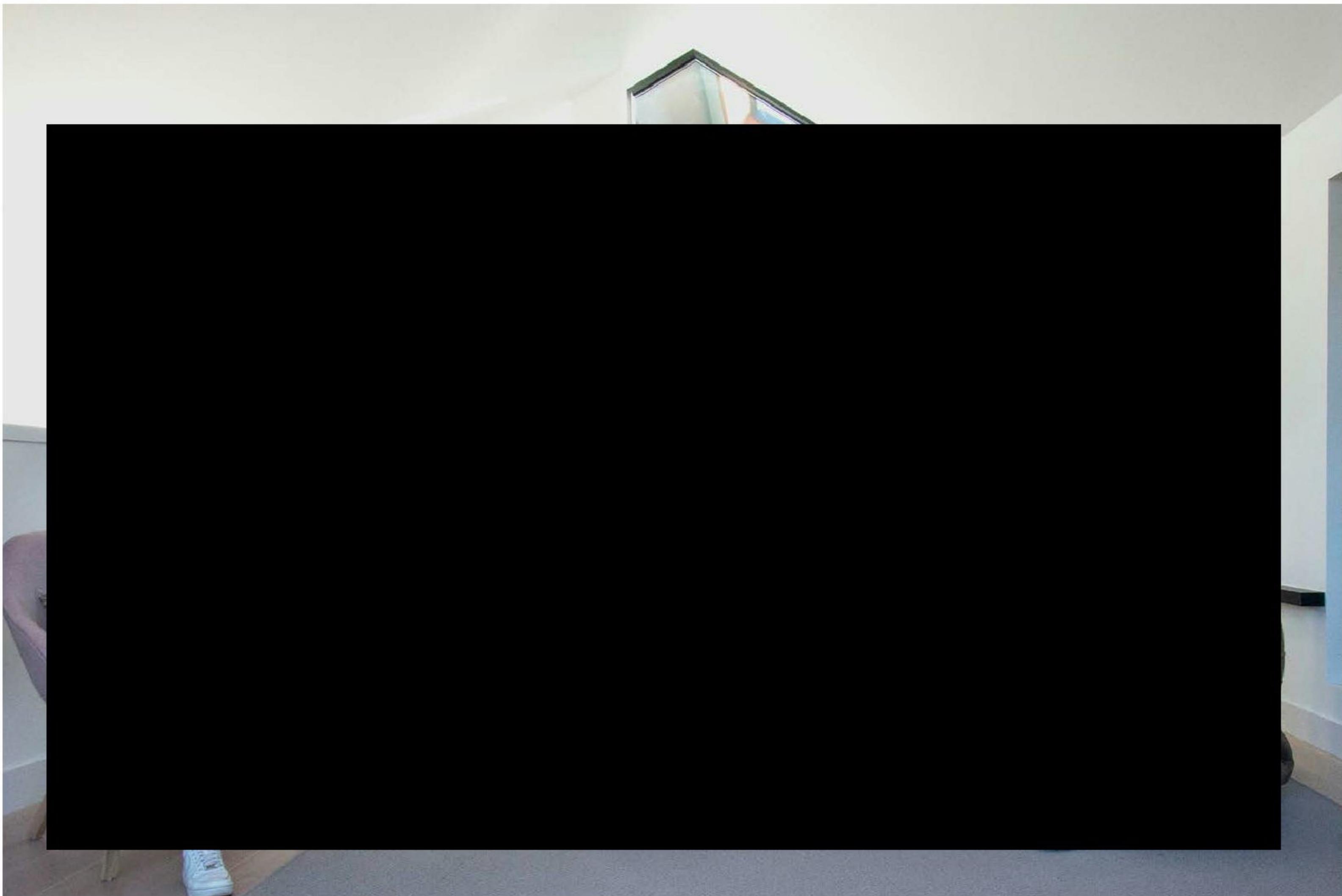
Summary

This planning application is for the development of a new build dwelling at Castle Park Golf Course, outside Gifford. The dwelling is essential to the daily operations of the business and is proposed to be intrinsically and permanently linked to the Golf Club business.

The proposal seeks to create a new, 6-bed dwelling for Craig McLachlan and his family who manage and secure the Golf Course 24hrs a day, 7-days a week. The proposal will form an attractive addition to Castle Park Golf Club whilst being sympathetic to its immediate surroundings.

This document explains the thought process and design led approach that has been undertaken to create a thoughtful and considered proposal which can have a positive impact on its surroundings.

01 / 2 The Team



An insight into LBA

Project Architects

We are a dynamic and progressive architecture and design studio, founded in 2012 by Lynsay Bell Manson. With studios in Edinburgh's West end and rural Kinross, the practice covers work throughout the UK and specialises in the residential sector. The practice has grown significantly since its inception and this is due to the high level of service provided to our clients. We pride ourselves on the strong working relationships we have developed with clients, consultants and local authorities.

We provide creative and forward thinking architecture, with considerable experience and expert knowledge of delivering design services — from feasibility and concept through to detail design and implementation.

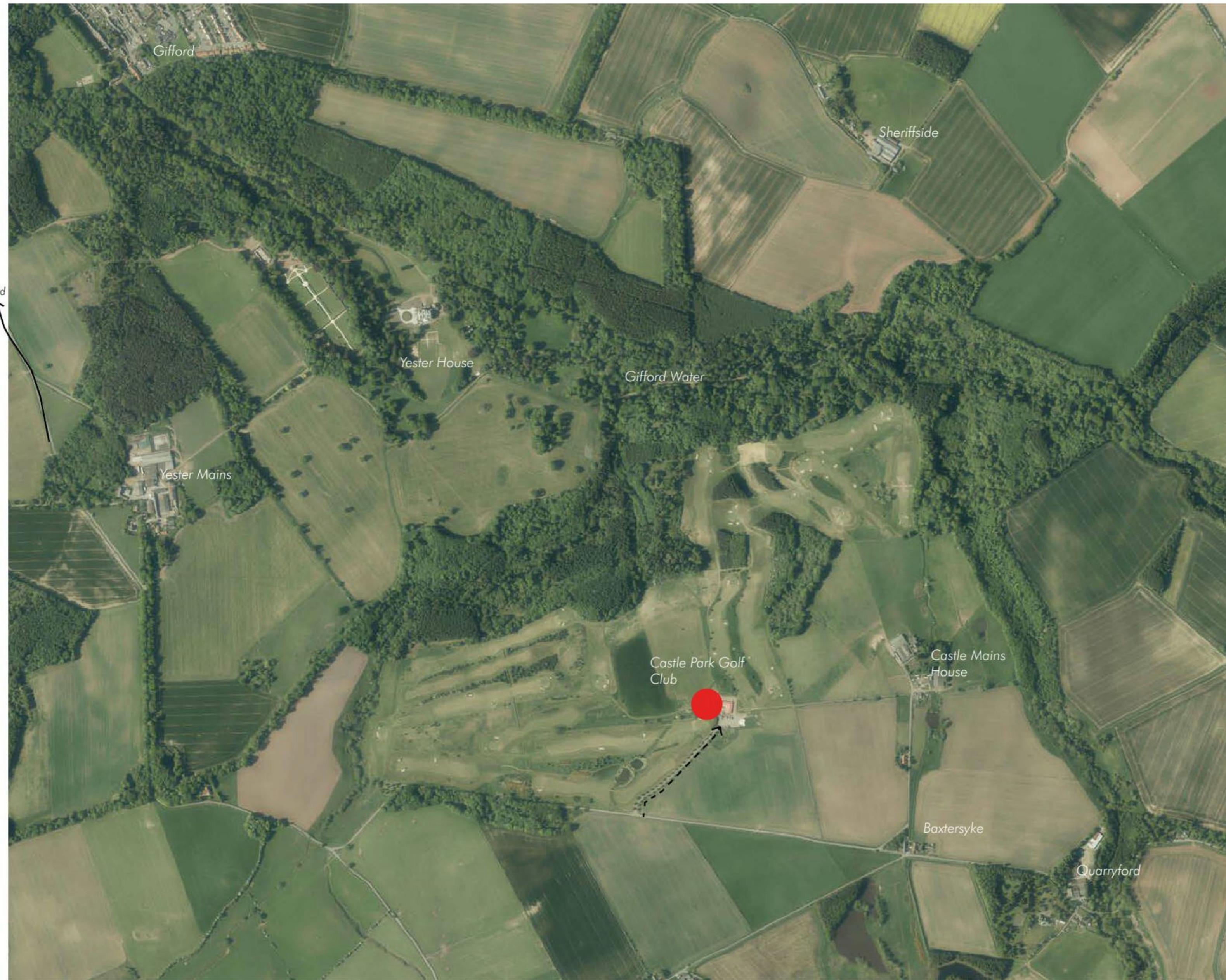
We focus on creating a vision that respects the existing built heritage, the biodiverse character of our sites and offer an economically sustainable approach to developments that bring a diverse demographic to the site. Above all, we believe that our process offers a positive way to embed good design into the scheme and provide a quality outcome for the client and the future users of the development.

02 The Site

Section Contents

- [*02 / 1 Location*](#)
- [*02 / 2 The Site*](#)
- [*02 / 3 Site Photos*](#)
- [*02 / 4 Site Analysis*](#)

02 / 1 Location



Wider Context

Situated at the foot of the Lammermuir Hills, the site lies 7 miles south east of Haddington and 2.6 miles from the closest neighbouring town, Gifford.

The site sits within the grounds of Castle Park Golf Club, just south of the 1st fairway and east of the driving range. The site can be accessed via the existing car park.

02 / 2 The Site



Existing Condition

The diagram adjacent highlights the existing Castle Park Golf Club members facilities in which the proposed application site sits. The proposed site for the new build dwelling lies on the south edge of the golf course.

The proposal aims to utilise the existing car park and provide direct access from it to the rear of the building.

The East and South edges of the application site are defined by the existing building. The North and South edges are defined by a dirt track currently used by on-site vehicle and members accessing the adjacent driving range.

Annotation Key:

Castle Park Golf Club

Existing vehicle access.

1. Castle Park Golf Course
2. Castle Park Club House
3. Black Basin
4. Castle Mains Farm

02 / 3 Site Photos

Existing condition showing existing golf club and surrounding context



1



2



3



4

Images:
1 View from site to Castle Park Golf Course Club House
2 Golf course car park
3 View from existing dirt track towards golf course
4 Existing Sun room and adjacent club house

02 / 3 Site Photos

Existing condition showing existing golf club and surrounding context



1



2



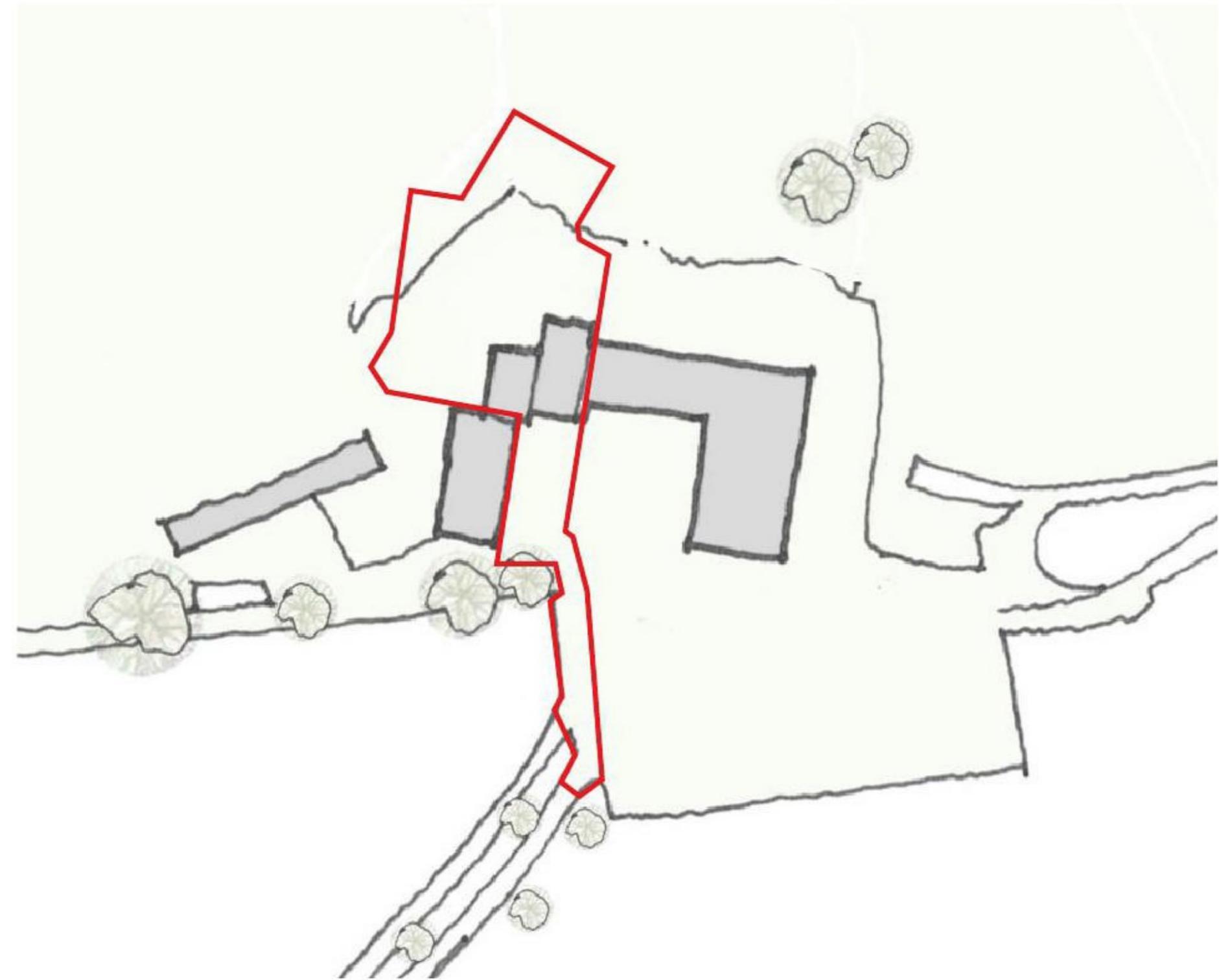
3



4

Images:
1 View towards driving range
2 View of club house and members outdoor seating area
3 View from dirt track towards existing on-site storage
4 Existing West elevation

02 / 4 Site Analysis



Existing condition & features

The site lies west of the 1st fairway, adjacent to the existing Club House. The application site currently houses two static caravans which are acting as temporary residential accommodation for the family whom manage and secure the site 24hrs, 7-days a week. The northern boundary of the site is defined by a dirt track used primarily for accessing the driving range to the west of the site.

Drawing Key:

- Application Boundary
- Existing Buildings



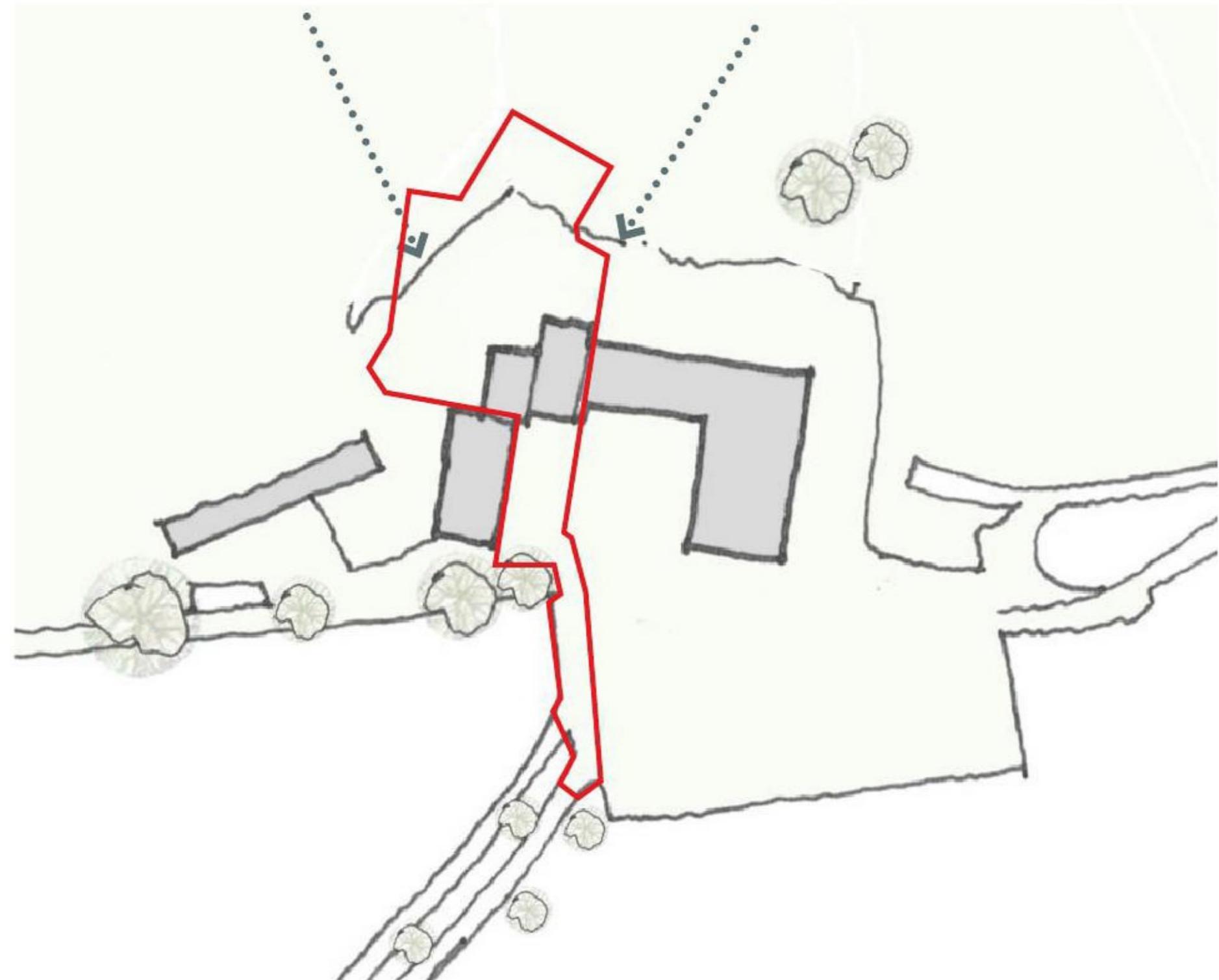
Access & Connectivity

There is an existing vehicular access road that serves the golf course club house and car park. A secondary track wraps around the north end of the site.

Drawing Key:

- → Existing primary access
- → Existing secondary track

02 / 4 Site Analysis

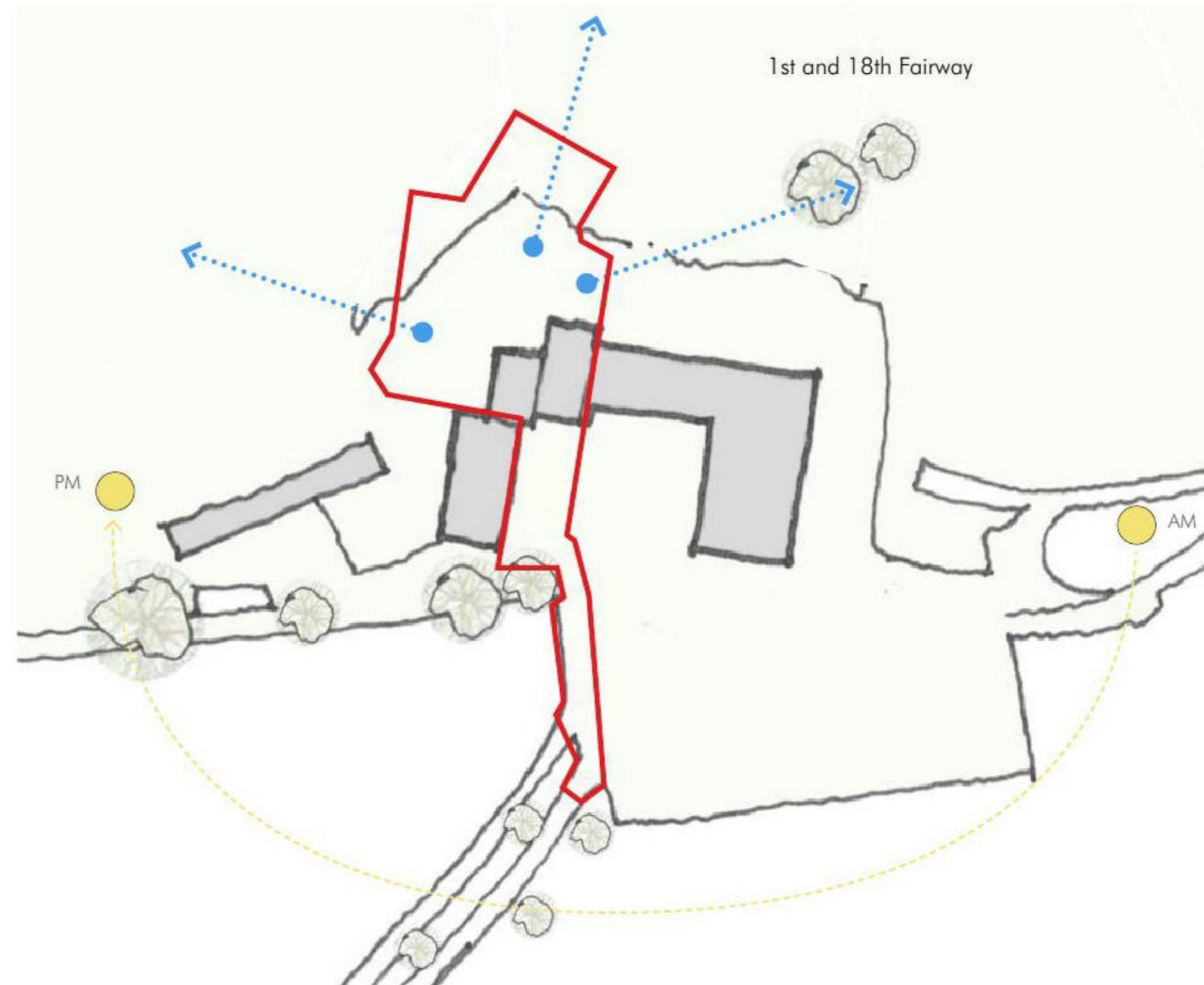


Topography

The application site itself is relatively flat. However, the typography does begin to slope away from the north edge of the site towards the golf course.

Drawing Key:

•••↗ Slope upwards



Orientation & Views

The site receives good exposure to sunlight throughout the day and benefits from several key views over the landscape. These include across the 1st and 18th fairway to the west. As well as the surrounding fields and countryside to the north east.

Drawing Key:

↖ Sun path

.....↗ Key Views

03 Planning Context

Section Contents

03 / 1 *Planning History*

03 / 1 Planning History

Overview

Castle Park Golf Club (CPGC) was established in the early/mid 1990's as a 9-hole golf course on former agricultural land at Yester just outside Gifford. This was around the time of a 'golf boom' in the United Kingdom, and the club quickly became a popular and friendly alternative to the more illustrious (and significantly more expensive) courses, typically found on the East Lothian coastline from Musselburgh to Dunbar.

Despite adding an additional nine holes (the front nine) in the early 2,000's, and therefore making the course a full 18-hole facility, the club suffered during the economic downturn of 2008-2012 and unfortunately was forced to close in 2014.

The current owners bought and re-established the course in 2015 and it has quickly become a popular golfing destination once again, presenting itself as a great-value alternative to the coastal courses. CPGC has also sought to support youth golf (The Stephen Gallacher Foundation is based out of Castle Park with all SGF members granted free membership of the club) whilst the club also frequently hosts charity golf days (Help For Heroes etc.).

It is a genuine community facility in the widest sense, offering good value golf and a friendly meeting place for many. These proposals (both the holiday accommodation and the enabling residential development) are going to build on this positive start to create a high quality destination in East Lothian, adding to the range of tourism and visitor attractions and helping attract and retain visitor spend, investment and job opportunities within East Lothian.

Previous Applications

11/00458/P – Alterations and Extension to Clubhouse – as the club had expanded to 18 holes and increased membership, the club sought to enhance its clubhouse and associated facilities. This application was granted planning permission in July 2011.

11/00459/PPM – Planning permission in principle for (i)3 chalets and (ii)7 houses as an enabling development for the extension of the existing clubhouse and chalets – this initial application for enabling development was refused due to the unsympathetic siting of the 7 proposed new homes (to the east of the access road to the golf club). It did however introduce the concept of enabling development to help cross-fund the improvements to the golf club. Members of the planning committee acknowledged that the enabling argument was credible, it was simply that the design and siting of the proposed new houses was deemed unacceptable.

13/01010/PP – Planning Permission in Principle for the Erection of 7 houses and 3 golfing chalets – further to the refusal of 11/00459/PPM it was clear that the Council accepted the requirement for enabling development to secure the improvements to the golf club (and provision of 3 holiday rental chalets). This application presented an alternative site (which will form part of a further application for enabling development as described above) to the east of the golf club. This application was granted planning permission in August 2014.

15/00761/P – Alterations, Extensions to Building and Associated Works (part-retrospective) – granted planning permission in December 2015, this application sought permission for a different scheme of development to that permitted under planning permission 11/00458/P. This application/permission was not linked to permission 13/01010/P.

If enabling development was to be secured, this would have to be done by a new application (similar to 13/01010/P) and again providing the financial justification as to why the enabling development was required. This fresh planning permission has never been sought.

16/01011/P – Alterations to Building, Erection of Machine Shed and Driving Range Building (part-retrospective) – this application, granted permission in May 2017, sought to 'tidy up' works that had been carried out under permission 15/00761/P but that did not accurately reflect that permission and were materially different to the extent that a revised permission was required.

17/00624/AMC - Approval of Matters Specified in Conditions of Planning Permission in Principle 13/01010/PP - Erection of 7 Houses and 3 Golfing Chalets – now withdrawn, this application sought to provide details associated with planning permission 13/01010/P. However as previously explained, the ongoing works (much completed) on the clubhouse were materially different from those approved under planning permission 11/00458/P and the enabling justification no longer applied. Under the current circumstances, this application could not secure permission, thought it did provide evidence that the club still required the enabling cross-funding to complete the works to the clubhouse (and associated facilities) and/or repay debt funding that was in place to enable the club to undertake the works (which had to be substantially completed before any residential development could take place anyway).

03 / 1 Planning History contd.



Where Are We Now?

As a result of the above, CPGC finds itself with a substantially completed, and significantly enhanced clubhouse facility including a new driving range and other golf club related facilities. A planning application has recently been lodged for the erection of 28nr sunken lodges which, if approved, will be hugely beneficial to the club, its members and owners. And in a separate application, CPGC will re-present an updated enabling justification alongside detailed designs for the enabling holiday chalets. This justification will clearly illustrate that the need for cross-funding remains and that the debt funding needs to be repaid.

In the meantime, the potential for a new build dwelling to support the operations run by the owners and family, whom also work at the club, has been explored on the associated land just west of the clubhouse. It should be understood that the house is proposed to be fully and completely affiliated with the club, with direct connections through the dwelling into the clubhouse. The dwelling would be funded and owned by the business, not individuals, to ensure that the golf club has adequate provision for on-site servicing and security, due to its remote location, long into the future. In addition, the client is aware that the proposal is not a separate entity to the Golf Club but rather to provide support to the daily operations and management of the Golf Club. The owner is required to file frequent police reports to the local authorities due to regular incidents of crime and vandalism on site. Providing a safe and secure home will allow the family to manage and monitor the site safely 24/7.

As the next section outlines, we believe that this application for 1nr. new build dwelling to support operations at the Golf Club meets key planning policy tests and will deliver a high-quality complimentary development to provide sufficient support to manage the operations of the Golf Club.

*Image:
Photo from site looking south*

03 / 2 Planning Policy Assessment

Statutory Considerations

The development plan is the approved South East Scotland Strategic Development Plan 2013 and the adopted East Lothian Local Development Plan (LDP) 2018. Given the scale of the proposals and the planning history, we will concentrate on the up to date LDP policies in the first instance.

The East Lothian Tourism Action Plan (2016-2018) and East Lothian Economic Development Strategy (2012-2022) also provide important context in supporting proposals that deliver investment, employment and help promote East Lothian as a growing visitor and tourist destination.

Before looking at specific policies, the introduction from Councillor Hampshire identifies the key characteristics of East Lothian as well as the aims and objectives of the Council:

"It is vitally important that we conserve East Lothian's special qualities for future generations. But at the same time it is also important to embrace change and to provide appropriate opportunities to help grow and diversify East Lothian's economy and to create more jobs in the area."

"Whilst there are elements we must include in our new Local Development Plan, as required by the Scottish Government, there are also important aims we have for East Lothian, such as growing our local economy, providing more jobs and homes and addressing infrastructure challenges and inequality."

"Being a part of the Edinburgh City Region the planning vision for East Lothian has already been set by SESplan's SDP, namely that: "By 2032, the Edinburgh City Region is a healthier, more prosperous and sustainable place which continues to be internationally recognised as an outstanding area in which to live, work and do business."

"To encourage the diversification of the rural economy by supporting appropriate economic development and tourism."

In promoting the development of this residential accommodation proposal at Castle Park Golf Course, to enable and improve the service that the owners are able to provide the club, we are seeking to align our proposals with many of the key aims and objectives of the LDP.

We believe that the proposals can be delivered with minimal environmental and visual impacts whilst creating a significantly enhanced tourism and visitor facility and improving the quality of life and living standards for the owners of the club.

In principle therefore, East Lothian should look to support the continued success of Castle Park Golf Club and its minor expansion to provide residential amenity for the Golf Club.

Policy Overview

Policy T1 (Development Location and Accessibility) and Policy T2 (General Transport Impact) – seeks to ensure that development can be safely and easily accessed by a range of different transport methods, has adequate parking and will not have adverse impacts on road capacity, safety or the amenity of existing residential properties.

CPGC is a relatively remote facility, and the majority of existing users arrive by private car (though in keeping with golfing habits, often sharing with fellow members/players). This will continue to be the case.

Policy T31 (Electric Car and Bus Charging Points) – the private dwelling will provide a charging facility for electric cars, located within the parking facilities.

Diverse Countryside & Coastal Areas 5 Housing in the Countryside Policy DC4: New Build Housing in the Countryside 'New build housing development will only be supported in the countryside outwith the constrained coast where there is no existing house or no appropriate existing building suitable for conversion to a house is available in the locality and:

(i) In the case of a single house, the Council is satisfied that it is a direct operational requirement of a viable agricultural, horticultural, forestry, countryside recreation or other business, leisure or tourism use supported in principle by Policy DC1. The Council will obtain independent advice from an Agricultural and Rural Advisor on whether there is a direct operational requirement for an associated house;

'The Plan has a general presumption against new housing in the countryside, but exceptionally a new house may be justified on the basis of an operational requirement of a rural business.'

The existing golf club has a requirement for a countryside location (in that it already exists and the use of land as a golf

03 / 2 Planning Policy Assessment contd.

LEGEND

EAST LOTHIAN SPECIAL LANDSCAPE AREAS

- 1 Lammermuir Moorland
- 3 Lammer Law, Hopes to Yester
- 5 Danskin to Whitecastle

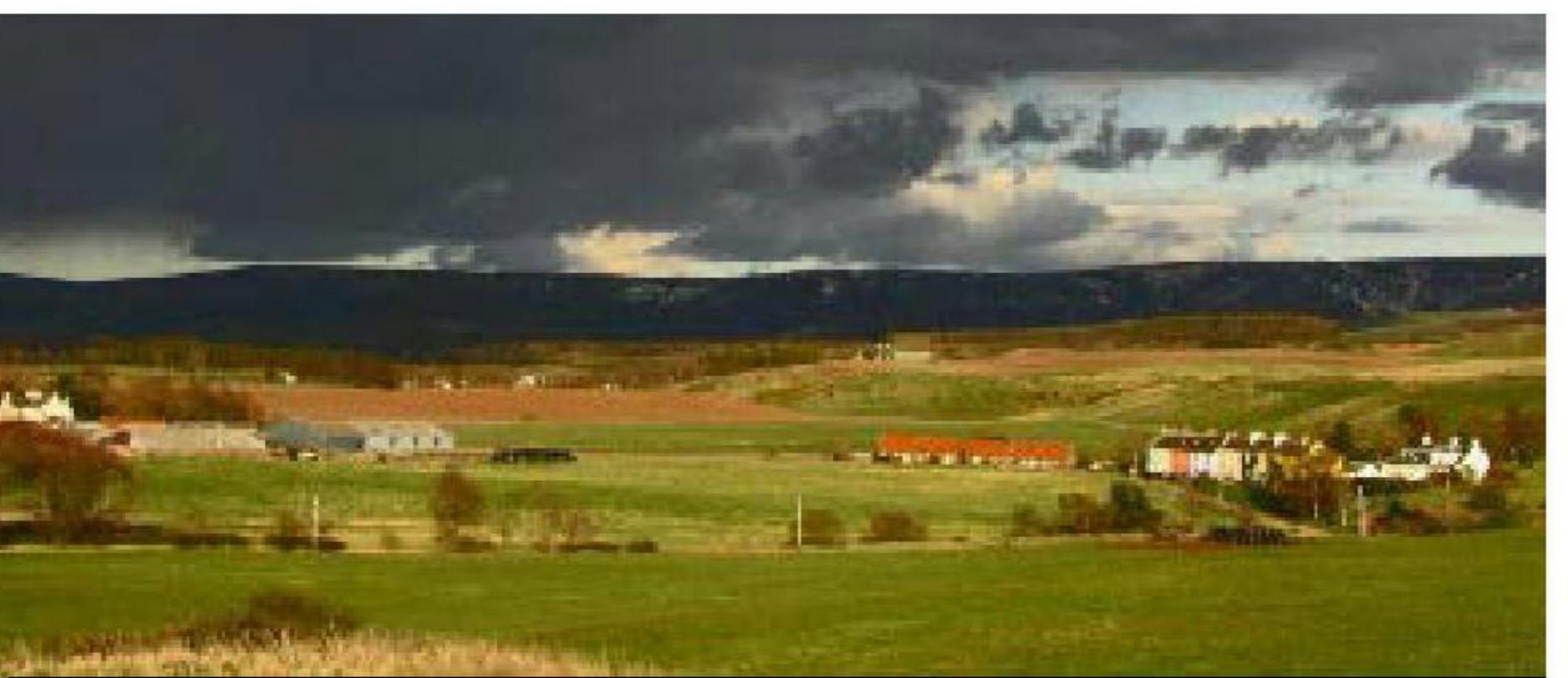
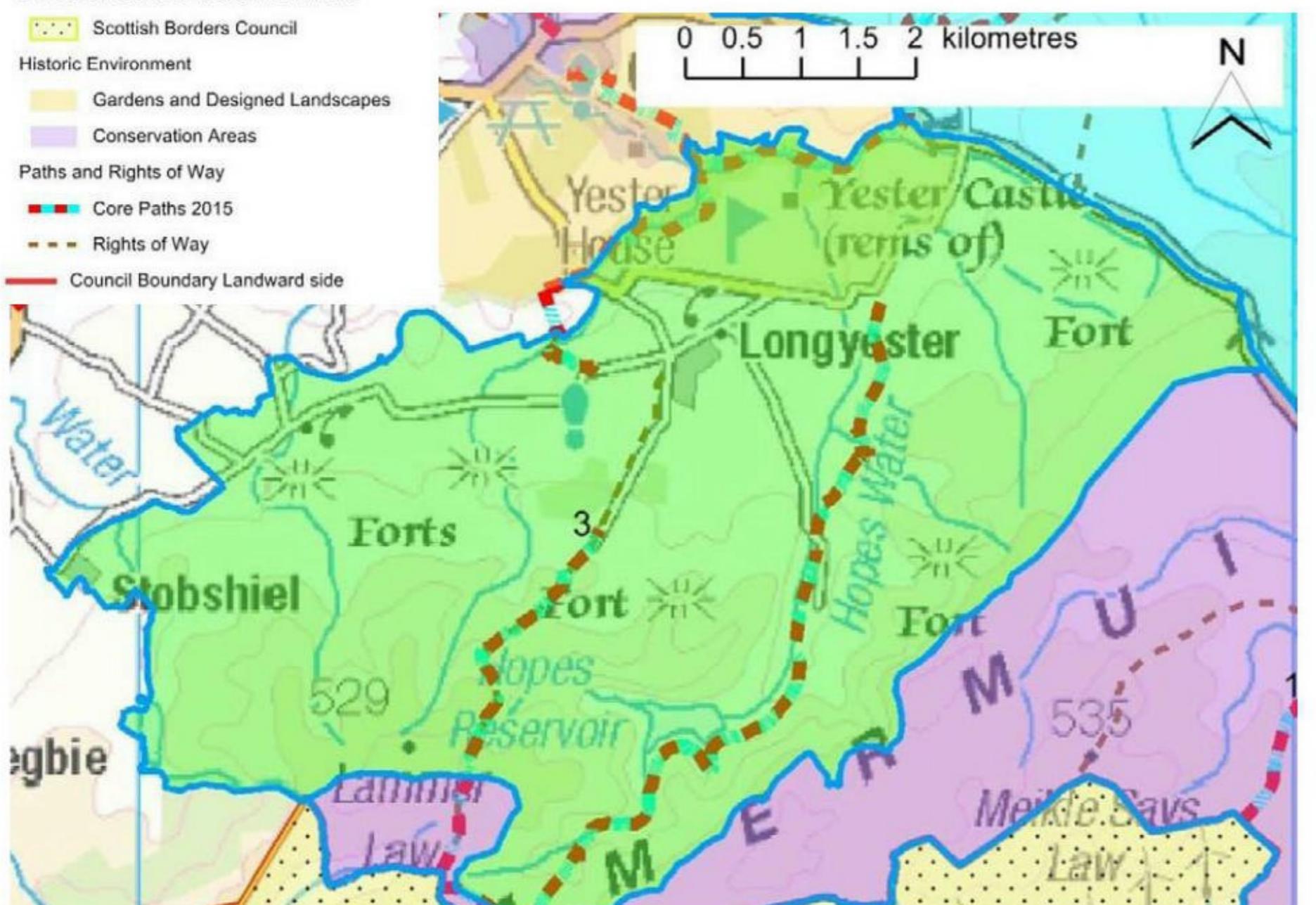
OTHER SPECIAL LANDSCAPE AREAS

- Scottish Borders Council
- Historic Environment
- Gardens and Designed Landscapes
- Conservation Areas

Paths and Rights of Way

- Core Paths 2015
- Rights of Way

Council Boundary Landward side



Policy overview contd.

course is an accepted countryside use) the single dwelling, in close proximity to the club, within its existing grounds is required by our clients to enable them to continue the operations of the golf club, providing on site care, maintenance and security 24 hours a day, 7 days a week.

Policy DC9 (Special Landscape Area) – the site lies within the extensive Lammer Law, Hopes to Yester SLA and the Statement of Importance is contained with the SLA Supplementary Planning Guidance (SPG). Development must not harm the special character of the SLA and/or the public benefits outweigh any adverse impacts.

As above the continued development of the facilities at Castle Park is in keeping with the existing use of the site, is compatible with the countryside location and is relatively visually contained in that there are few long range views of the built form at the golf club that are outwith the golf course itself. The residential development is proposed for a part of the site that can comfortably support the insertion of a residential unit to support the operations of the club. The development is located to the west side of the club, tucked behind the principle public building, and its height aligned with existing structures the development will ensure it has a negligible impact on the key characteristics of the SLA. This is further expanded on in the Design and Access Statement.

Policy DP1 (Landscape Character) and DPP2 (Design) – seeks to ensure that new development is well integrated into the landscape and designed appropriately to enhance the surroundings. New development must be appropriate in terms of size, massing and materials, have a well-integrated network of paths and roads whilst private and public spaces must be clearly defined with privacy and amenity acknowledged and protected. Key existing natural features should be retained. Good design is integral to the development of the single dwelling at Castle Park. As the design statement elaborates on, the proposed dwelling has been designed in response to its immediate context, to tie in with existing structures, restrict

height to minimise any visual impact.

East Lothian Economic Development Strategy 2012-2022

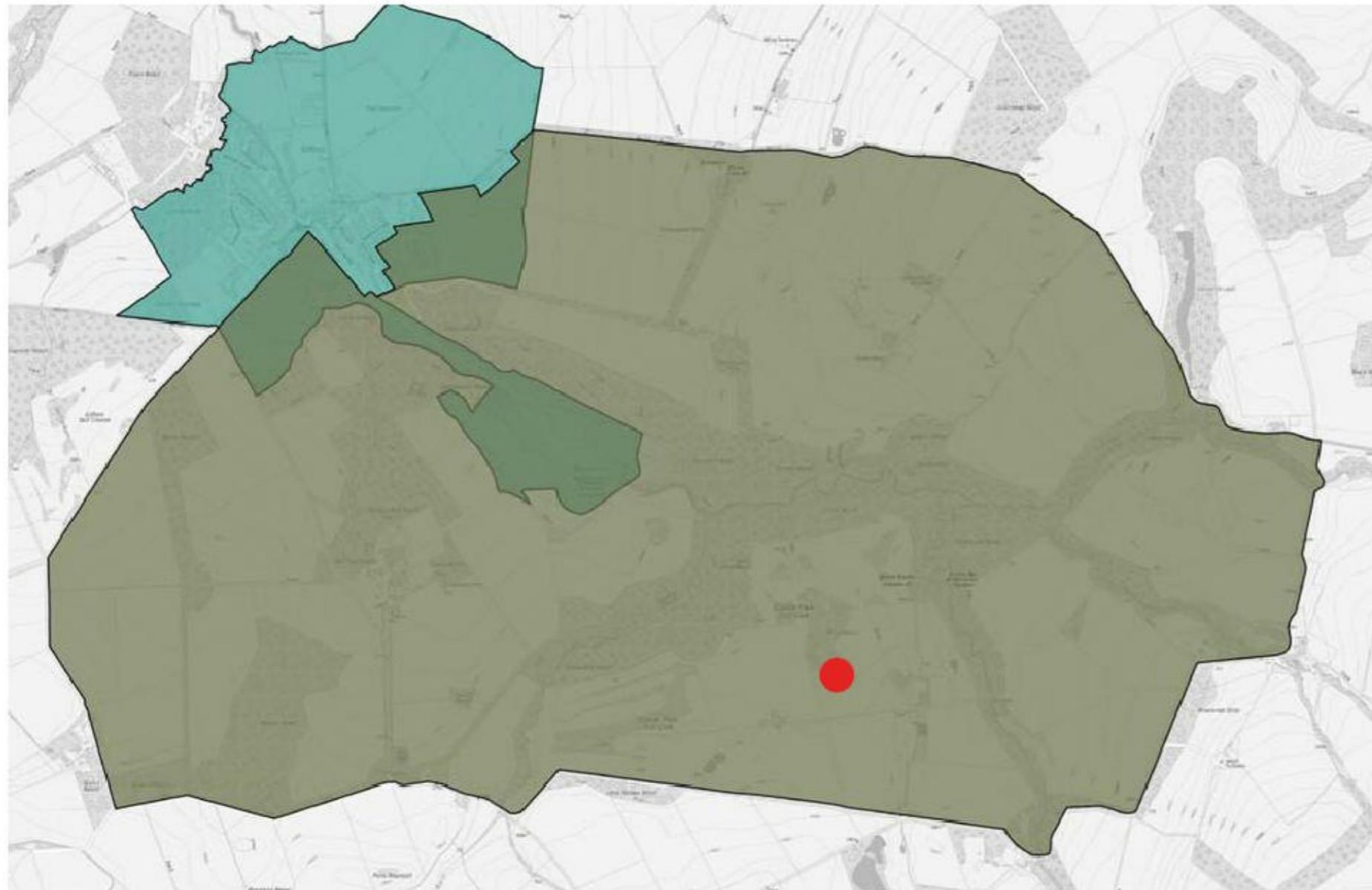
– tourism lies at the very heart of the economic development strategy for East Lothian. Key themes include increasing the number of East Lothian residents working in and contributing to the East Lothian economy. The stated aim is to establish 350 new businesses and 7,500 new jobs by 2022. It is accepted that many people will work in Edinburgh and beyond, but at the same time it is vital that East Lothian becomes more self-sufficient with residents living, working and of course spending in the County. Equally beneficial is tourists and visitors staying in the area and also spending their money in East Lothian. The creation of the residential home will enhance Castle Park Golf Club (which in itself will lead to further employment opportunities, customer spend, improved facilities, service and security) and the investment and direct employment during the construction phase for all elements of the proposals (golf club house, enabling housing and holiday accommodation) and this will constitute a significant short-term and ongoing contribution to the local economy. The proposals align with the economic development strategy.

East Lothian Tourism Action Plan 2016-2018 – although dated to 2018, the Action Plan has not been updated and the themes remain relevant today. The Action plan identifies different types of tourists including ‘Adventure Seekers’, ‘Engaged Sightseers’ and ‘Nature Advocates’, all of which would apply to the accommodation at Castle Park. More specifically the Action Plan identified five key segments of visitor types; Active Explorers, Day Trippers, Relaxers, Event Goers and Visiting Friends and Relatives. The combination of the rural setting, the golf club and associated facilities and the holiday accommodation will attract visitors and tourists from each of the segments (to a greater or lesser degree). Castle

Images:

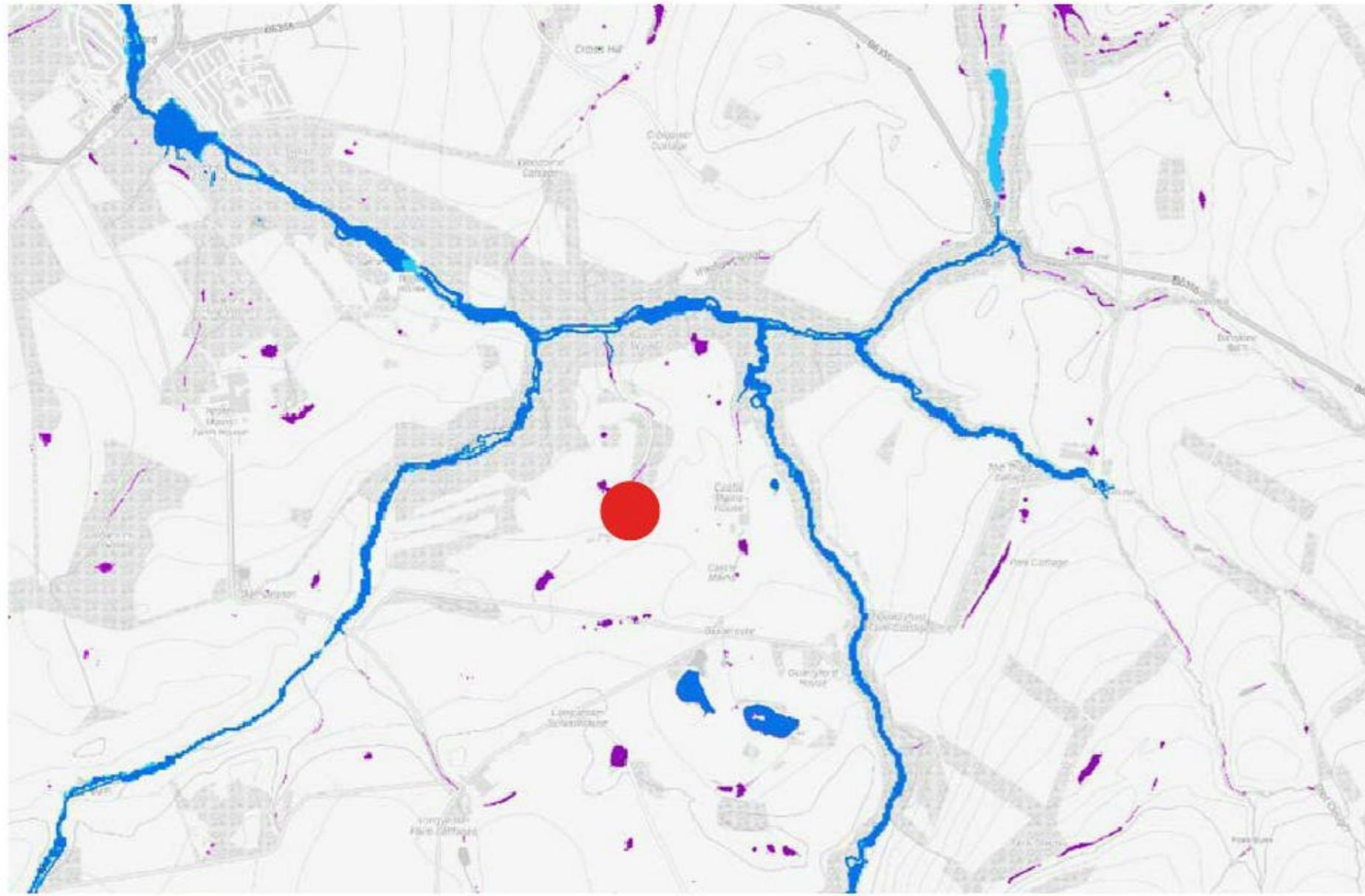
Extract from East Lothian Council LDP 2018 Special Landscape Area Supplementary Planning Guidance

03 / 2 Planning Policy Assessment contd.



Policy Overview contd.

Park is some distance from the main coastal attractions but will cater for golfers, hill walkers, birdwatchers as well as those visiting friends and family but wishing to retain an element of independence. The golf club will itself attract day trippers seeking friendly and better value golf options (perhaps in tandem with other aspects of their holiday). Castle Park Golf Club could be construed as being a more welcoming and financially accessible for family groups not influenced by the reputation/history of the more storied (and significantly more expensive) clubs along the coast. The combination of the accommodation, golf clubhouse and location will present a coordinated, welcoming and innovative resort feel.



Drawing Key:



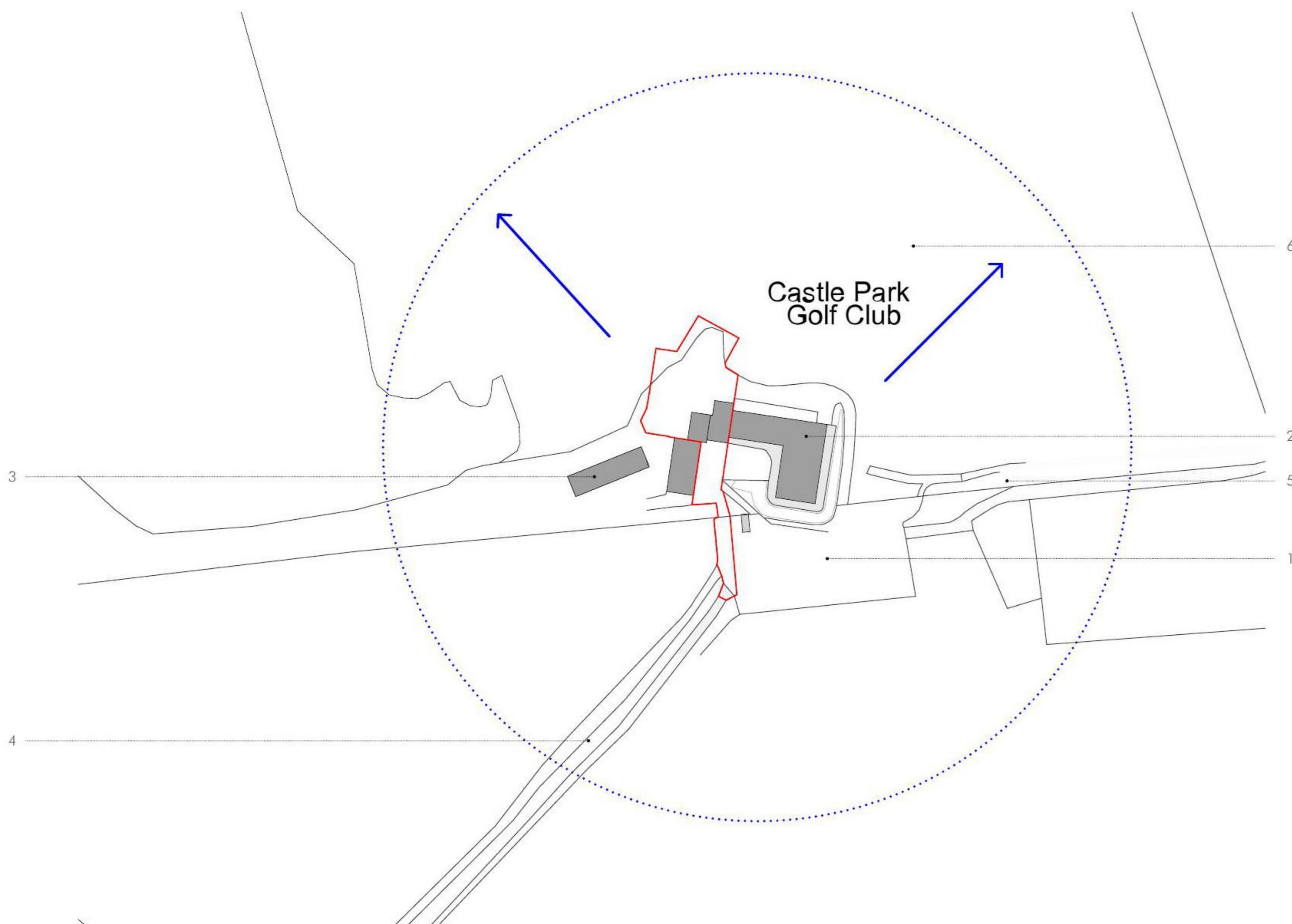
Images:

Top - Extract from Past Map highlighting conservation area and Designed Landscape Area.
Bottom - Extract from SEPA Flood Maps.

04 Emerging Proposals

Section Contents

- [04 / 1 Overview](#)
- [04 / 2 Vision & Aspiration](#)
- [04 / 3 Design Principles](#)
- [04 / 4 Proposed Site Plan](#)
- [04 / 5 Floor Plans](#)
- [04 / 6 Site Sections](#)
- [04 / 7 Materiality](#)
- [04 / 8 Site Elevations](#)



Wider Context

The proposed application site sits within the existing grounds of Castle Park Golf Club.

The proposal seeks to take advantage of views over the golf course whilst being sympathetically located to have a minimal visual impact on the surrounding landscape.

The following pages describe the Castle Park House design principles, covering the development of the proposal, material palette justification, elevational composition and some further detail considerations.



Annotation Key :

- Application Site
- • • • Land under same ownership
- 1. Car Park
- 2. Castle Park Golf Club
- 3. Driving Range
- 4. Existing vehicle access
- 5. Existing pedestrian footpath
- 6. 1st and 18th fairways

*Image:
Wider existing site context*

04 / 2 Vision & Aspiration



Local Materials

The aspiration for the proposal is to create a contemporary, new build dwelling to support the operation of the existing Golf Club. The vision is to create a 1 1/2 storey new build dwelling which fully embraces its surrounding, utilising the immediate landscape and the extensive views from the site.

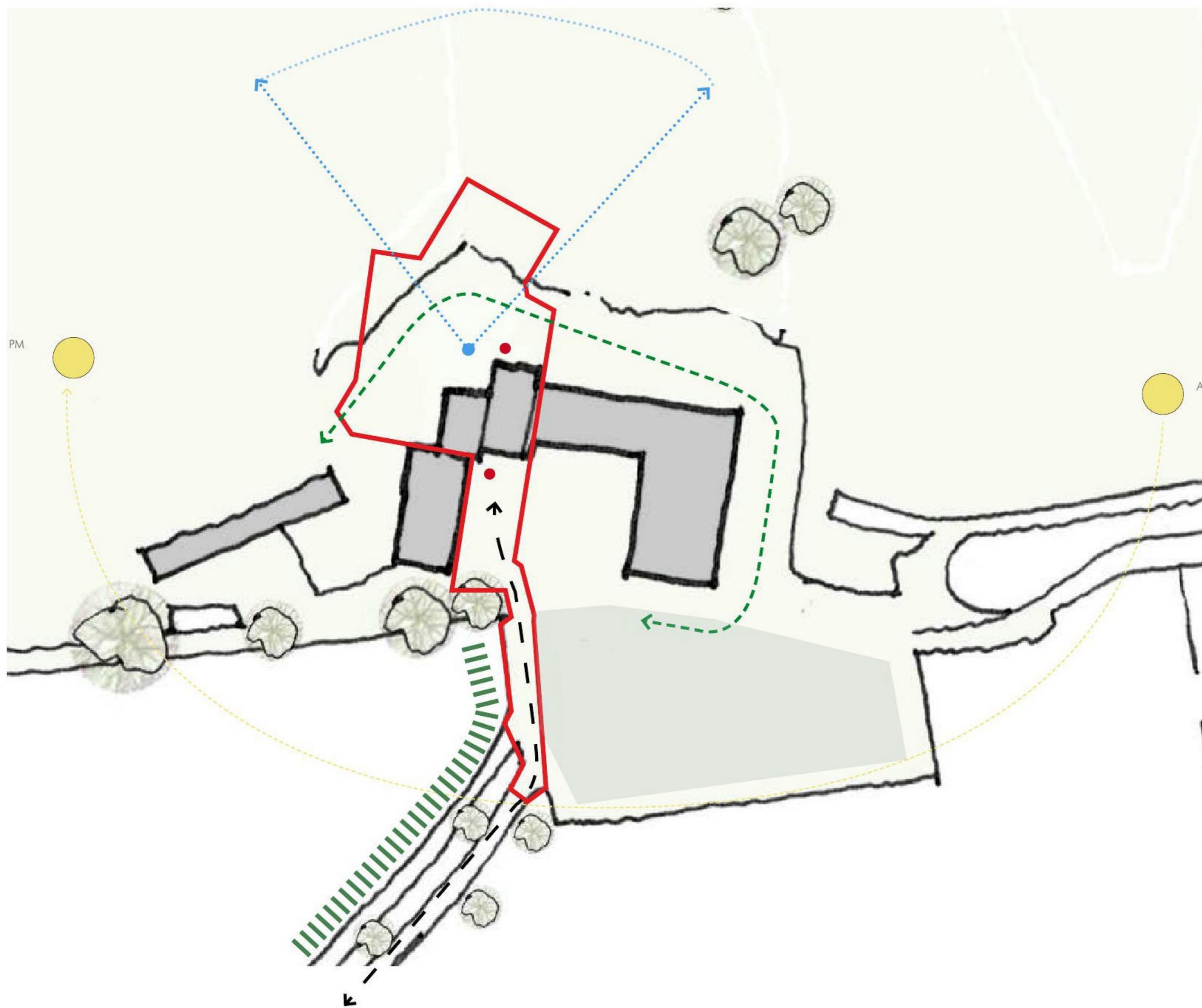
The proposal seeks to utilise a modest parcel of land to enable the erection of a 6 bedroom, new build dwelling to house the owner/manager and his family who work full-time, 24hrs a day through 7 days a week, managing and operating the golf course and also providing security through the nights and holidays. The design is fully focused on providing comfortable, high quality spaces for its inhabitants whilst maintaining a hierarchy throughout the spaces within.

Going against the traditional approach, the proposal places the bedrooms across the ground floor and to the rear of the building, giving priority to the kitchen/living/dining space on the first floor, towards the North end of the site. Thus giving the best views over to the most social space in the proposal.



Image:
Selection of precedent images
Sources : Pinterest / Google Images

04 / 3 Design Principles



Opportunities & Constraints

The following items are key principles which underpin the design and layout of the proposal;

- Create bespoke new build dwelling
- Priority given to communal living space
- Minimise visual impact on surrounding context
- Take advantage of views North and West

04 / 4 Proposed Site Plan

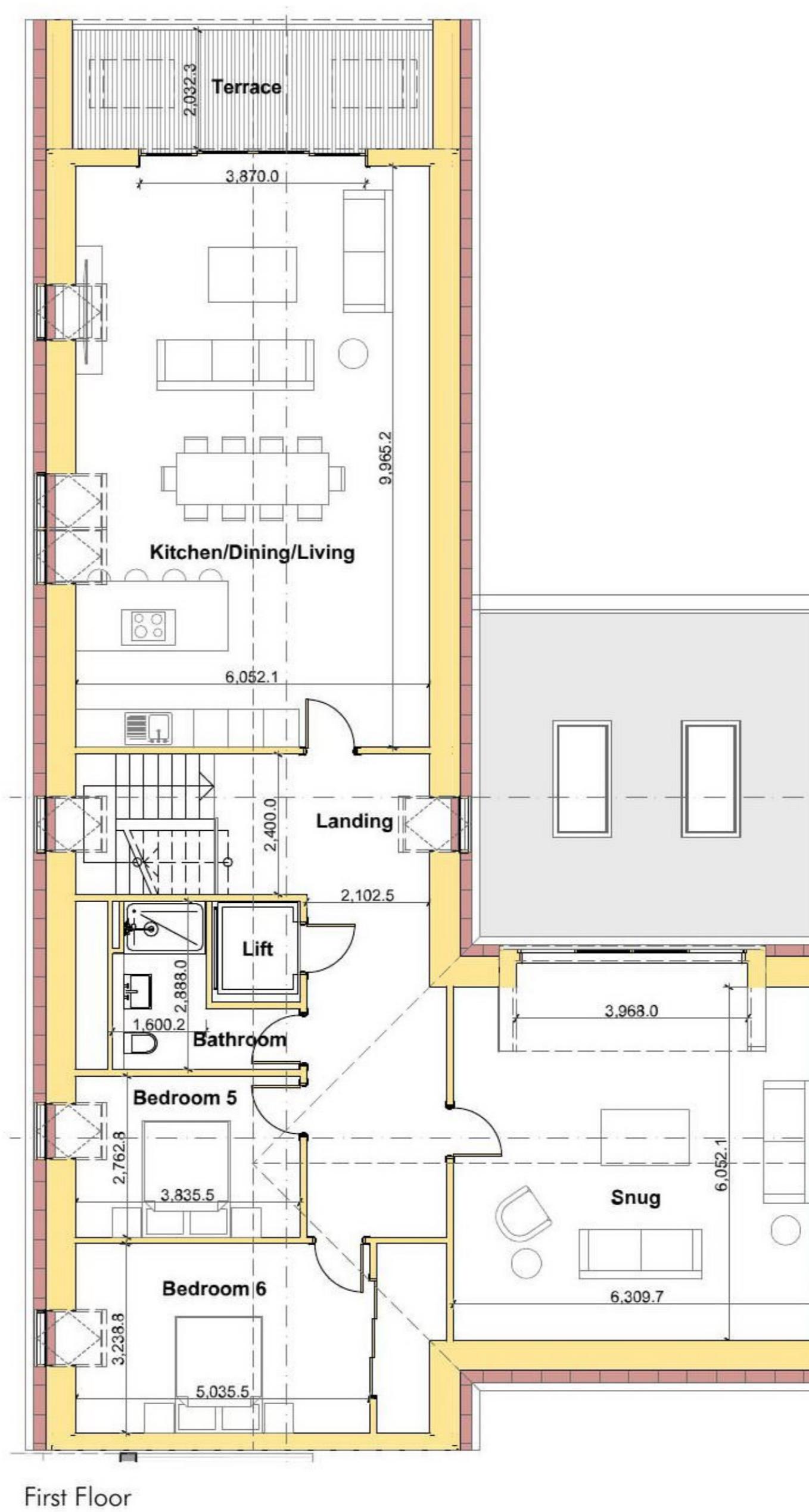
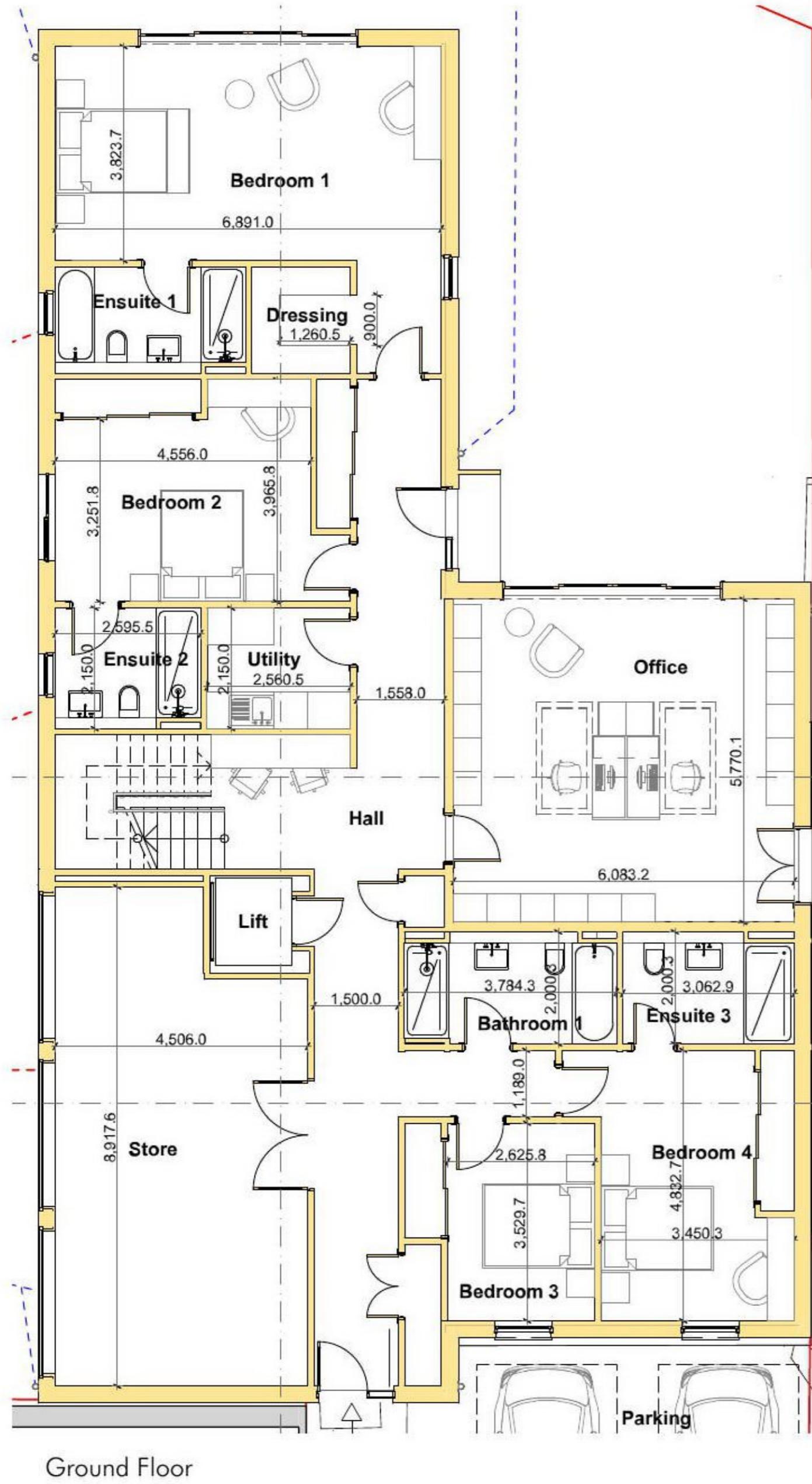


Overview

The proposal consists of a 1 1/2 storey, six-bed, new build dwelling which will support the operation of the Golf Club. The proposal has been positioned west of the existing property and in doing so takes full advantage of the extensive views North and West of the application site.

Although the site is relatively flat, the typography does slope away from the north end of the site towards the golf course.

04 / 5 Floor Plans



General Arrangement

The floor plans have been arranged to provide an efficient and flexible internal space which offers a generous open plan Kitchen/Living/Dining space.

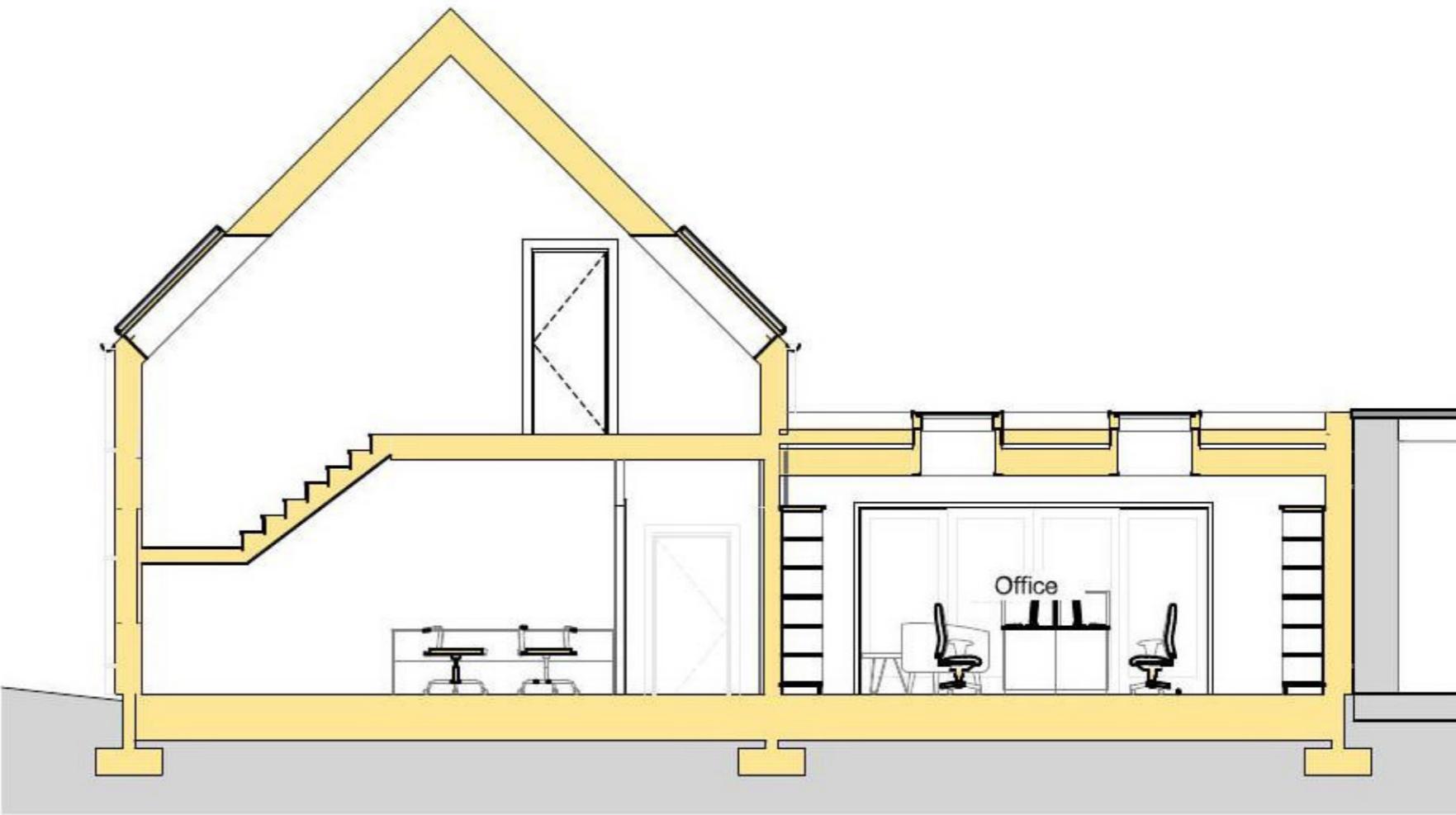
All ground floor bedrooms will be fitted with large picture windows allowing for sufficient levels of light into each space. Velux roof lights provide natural daylight to the first floor bedrooms as well as the main living space.

Image:
Proposed Floor Plans

04 / 6 Site Sections



Section A-A



Section C-C



Section B-B

Image:
Proposed Sections

04 / 7 Materiality / Proposed Palette



West Elevation



North Elevation

Explorations

To achieve a natural yet sharp aesthetic, the combinations of the following materials have been explored and tested;

- Vertical Larch Cladding
- Red, corrugated metal
- Render - e.g. White K-rend cement render
- Anthracite metal frames

The material palette selected for the scheme has been chosen to work sympathetically with the existing context and existing roof finishes. The elevations adjacent express our ambition for the proposed material palette.



Vertical larch timber cladding



Anthracite grey w.frames



Red, corrugated metal roofing



White Render finish

Address

—
18 Walker Street
Edinburgh EH3 7LP

Contact Us

—
Orwell Farm
Kinross KY13 9HB



Changes on Sheet



Key:
1. Club House
2. Sun Room/Conservatory
3. Storage shed
4. Machinery storage
5. Driving Range
6. Storage Container

Legend:
— Indicates site boundary

GENERAL NOTES:
Σ All work to comply with the Building
(Scotland) Regulations 2004 as amended
Σ All site works to be in accordance with the
Construction (Design and Management)
Regulations 2015
Σ All plant to be installed per
manufacturer's recommendations
Σ All dimensions in mm & are to be verified on
site
Σ To be read in conjunction with other contract
drawings, schedules & specifications.
Σ To be read in conjunction with structural
engineer's drawings.

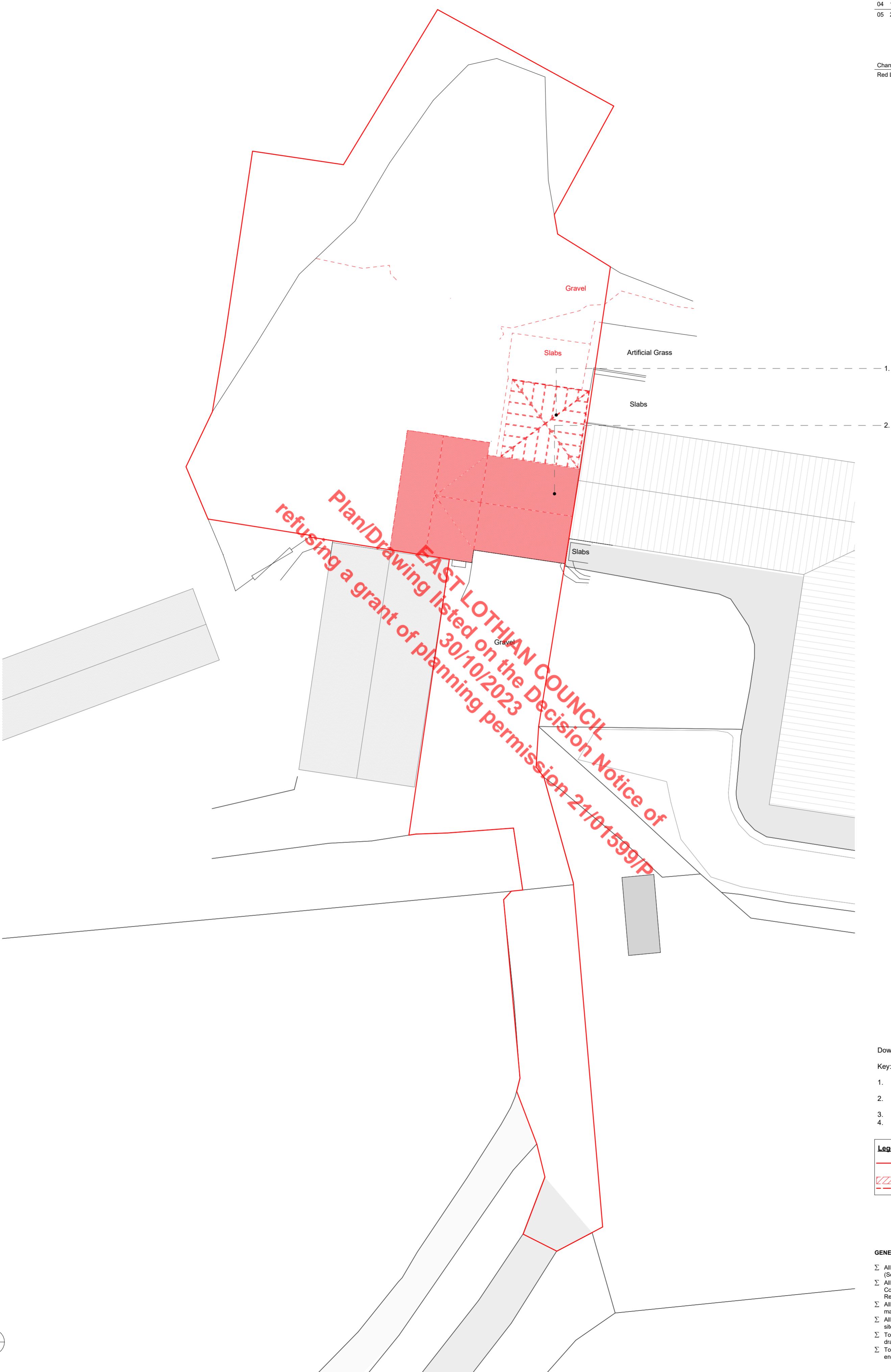
Issues			
02	20-12-21	ER	Planning Issue
03	06/01/22	ER	Planning Revision 1
05	28-01-22	ER	Planning Revision 3

Changes on Sheet
Red Line Boundary Updated



Issues			
02	20-12-21	ER	Planning Issue
03	06/01/22	ER	Planning Revision 1
04	12-01-22	ER	Planning Revision 2
05	28-01-22	ER	Planning Revision 3

Changes on Sheet
Red Line Boundary Updated

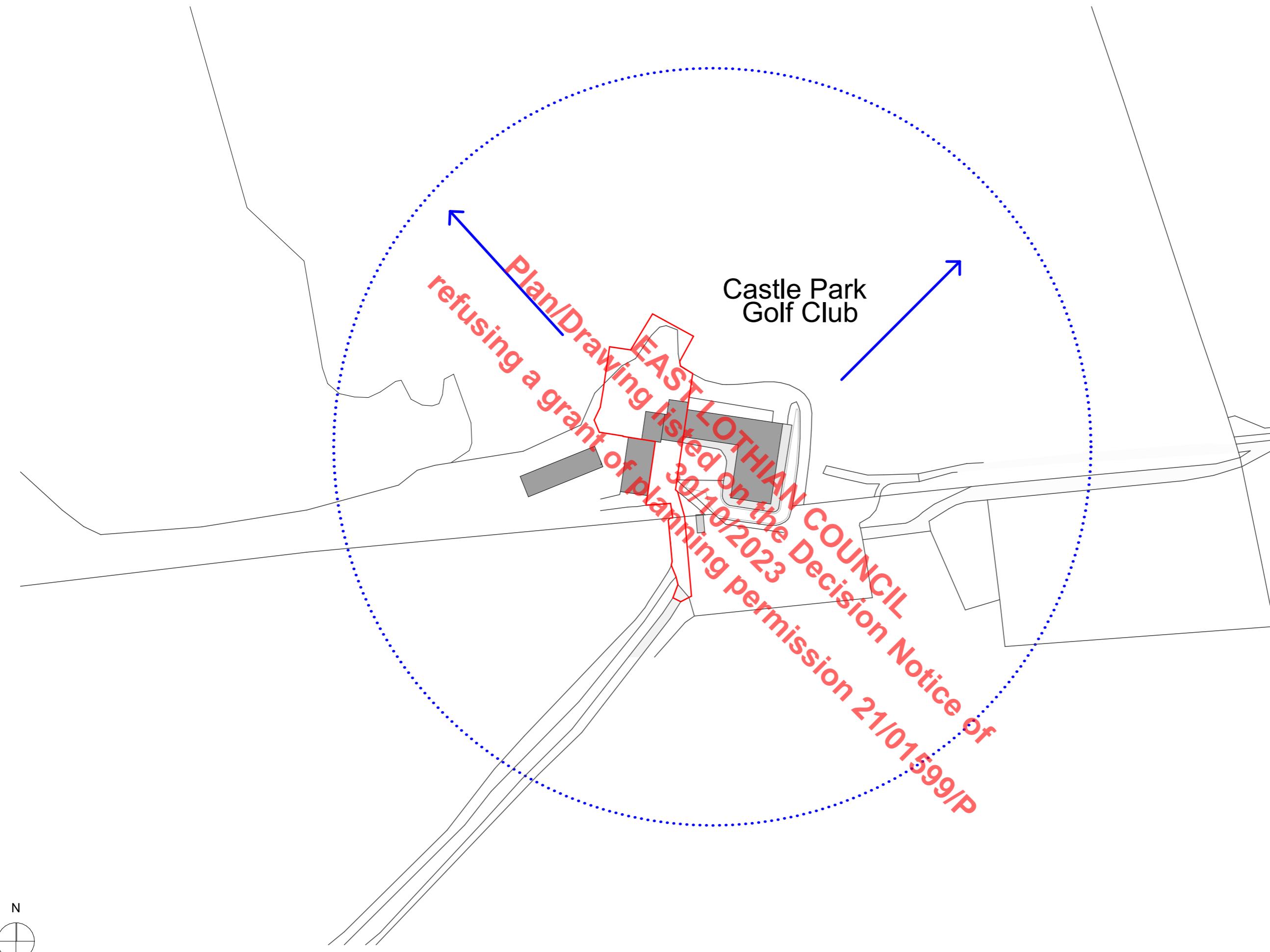


Issues

02	20-12-21	ER	Planning Issue
03	06/01/22	ER	Planning Revision 1
04	12-01-22	ER	Planning Revision 2
05	28-01-22	ER	Planning Revision 3

Changes on Sheet

Red Line Boundary Updated

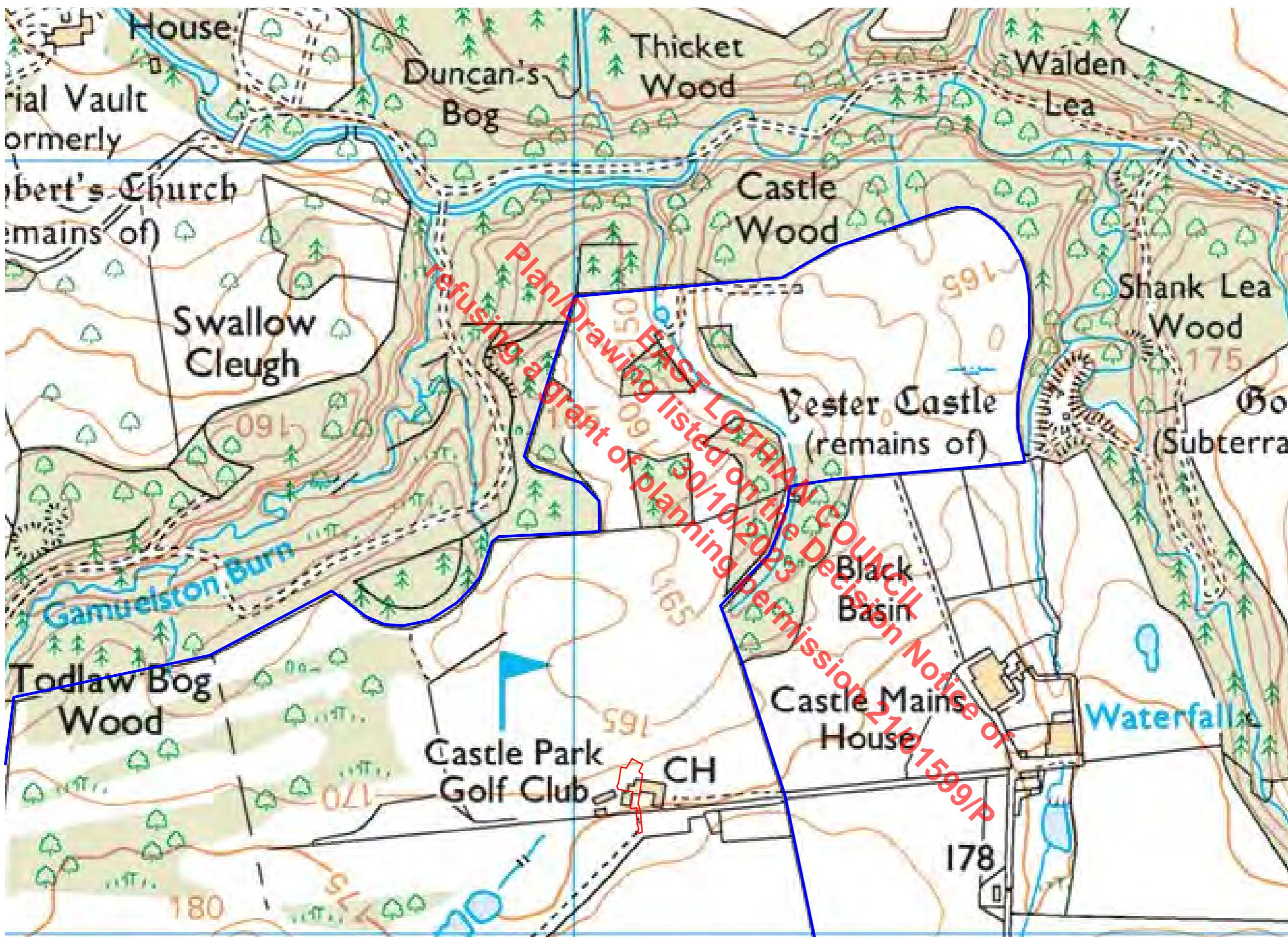


GENERAL NOTES:

- Σ All work to comply with the Building (Scotland) Regulations 2004 as amended
- Σ All site works to be in accordance with the Construction (Design and Management) Regulations 2015.
- Σ All products to be installed per manufacturer's recommendations
- Σ All dimensions in mm & are to be verified on site
- Σ To be read in conjunction with other contract drawings, schedules & specifications.
- Σ To be read in conjunction with structural engineer's drawings.

Issues			
02	20-12-21	ER	Planning Issue
03	06/01/22	ER	Planning Revision 1
05	28-01-22	ER	Planning Revision 3

Changes on Sheet
Red Line Boundary Updated

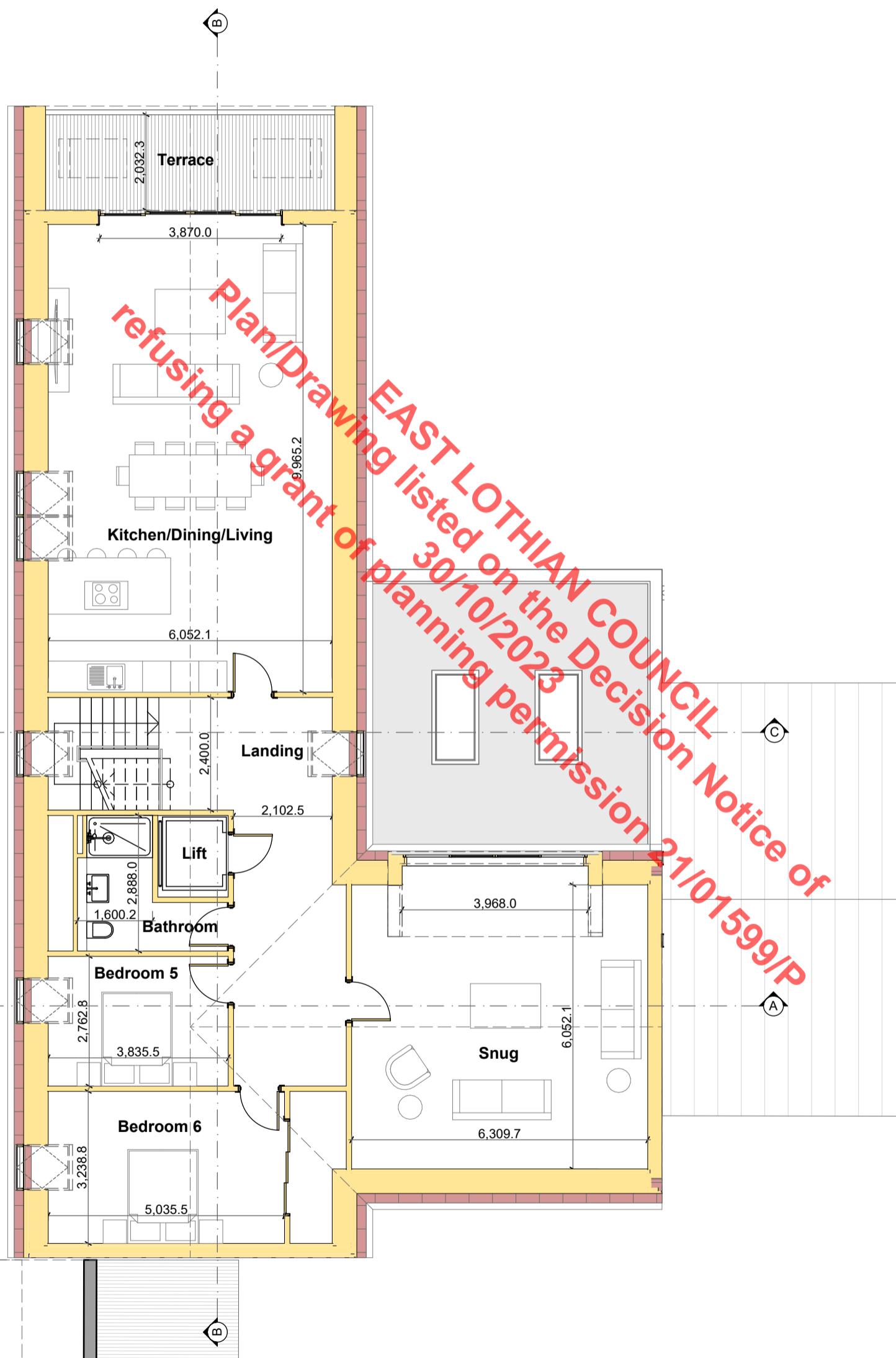


Issues

02 20-12-21 ER Planning Issue

04 12-01-22 ER Planning Revision 2

Changes on Sheet
Layout Updated





Issues	
02	20-12-21 ER Planning Issue
03	06/01/22 ER Planning Revision 1

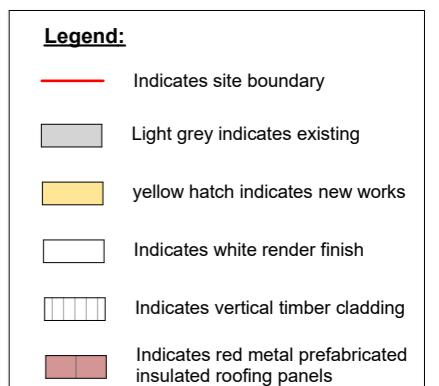
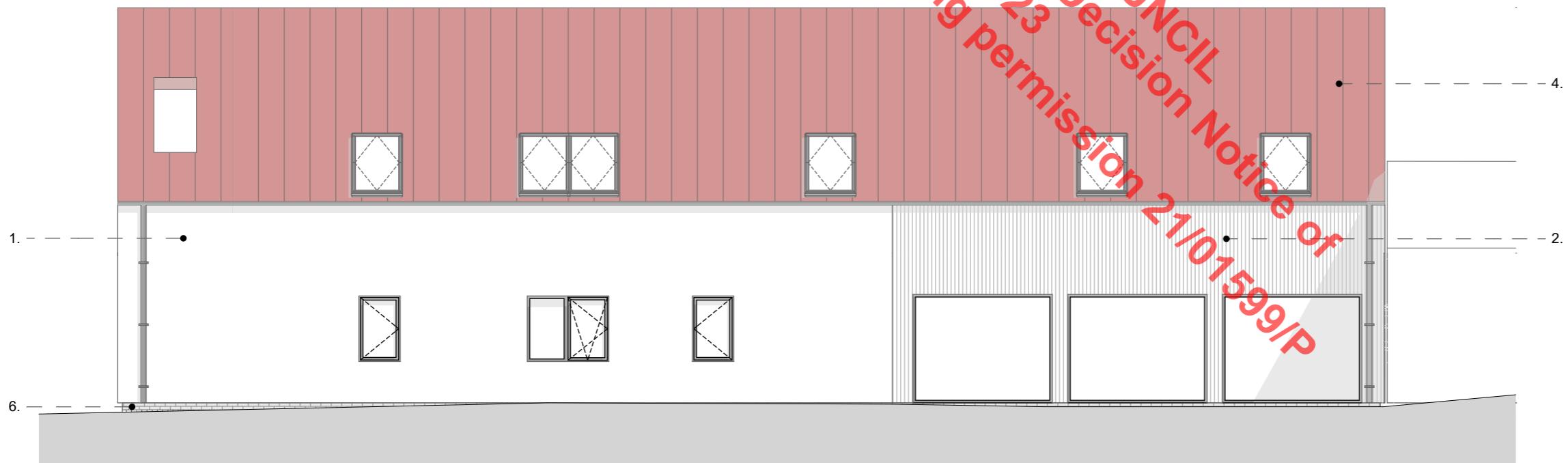
Changes on Sheet
Key Updated

General:

- All windows and doors to be aluminium framed - colour: Anthracite
- All RWP to be round, and gutters to half round - colour: Anthracite

Key:

1. White K-rend cement render.
2. Vertical Natural Larch timber cladding.
3. Glass Panel Balustrade.
4. Insulated metal roof panels - red to match adjacent clubhouse
5. Cut out to allow natural light into North terrace
6. Light grey engineering brick



GENERAL NOTES:

- Σ All work to comply with the Building (Scotland) Regulations 2004 as amended
- Σ All site works to be in accordance with the Construction (Design and Management) Regulations 2015.
- Σ All products to be installed per manufacturer's recommendations
- Σ All dimensions in mm & are to be verified on site
- Σ To be read in conjunction with other contract drawings, schedules & specifications.
- Σ To be read in conjunction with structural engineer's drawings.



Issues			
02	20-12-21	ER	Planning Issue
03	06/01/22	ER	Planning Revision 1

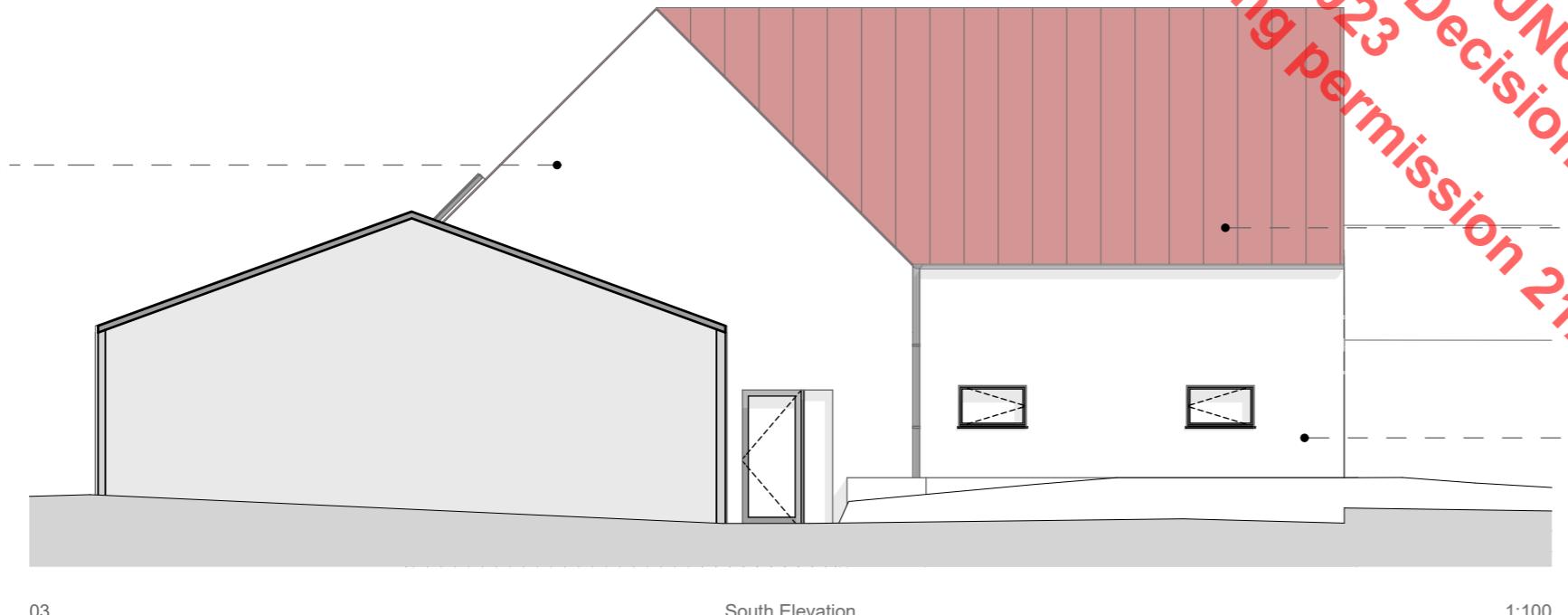
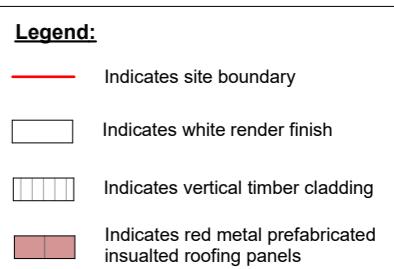
Changes on Sheet
Key Updated

General:

- All windows and doors to be aluminium framed - colour: Anthracite
- All RWP to be round, and gutters to half round - colour: Anthracite

Key:

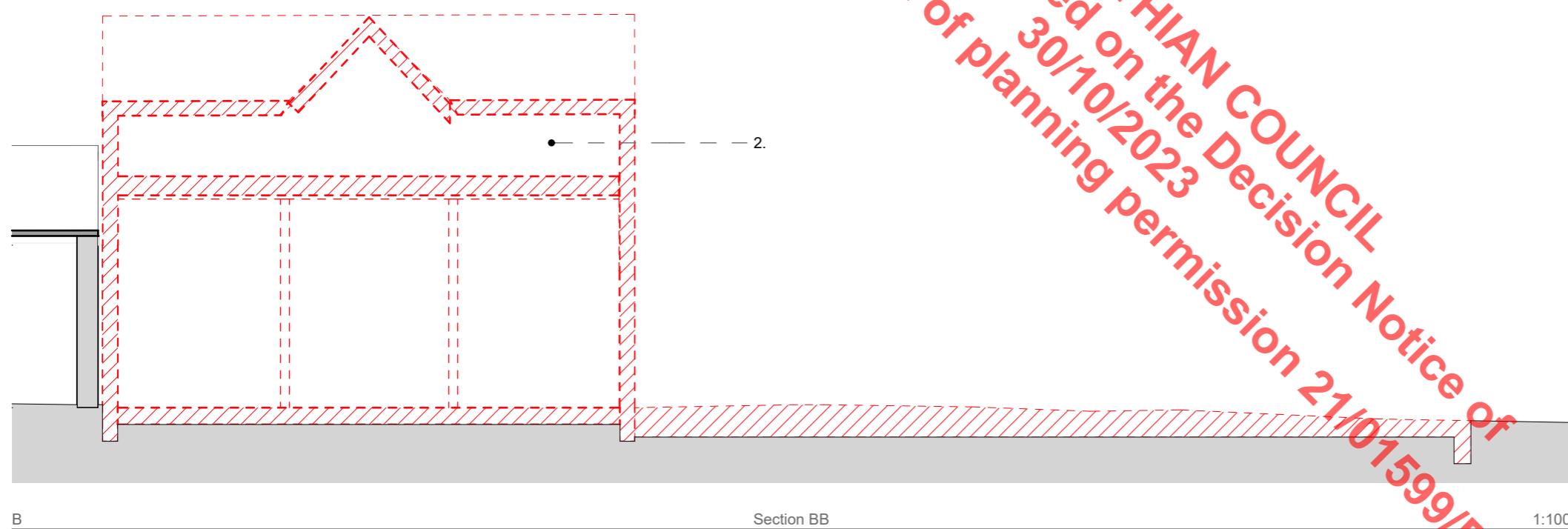
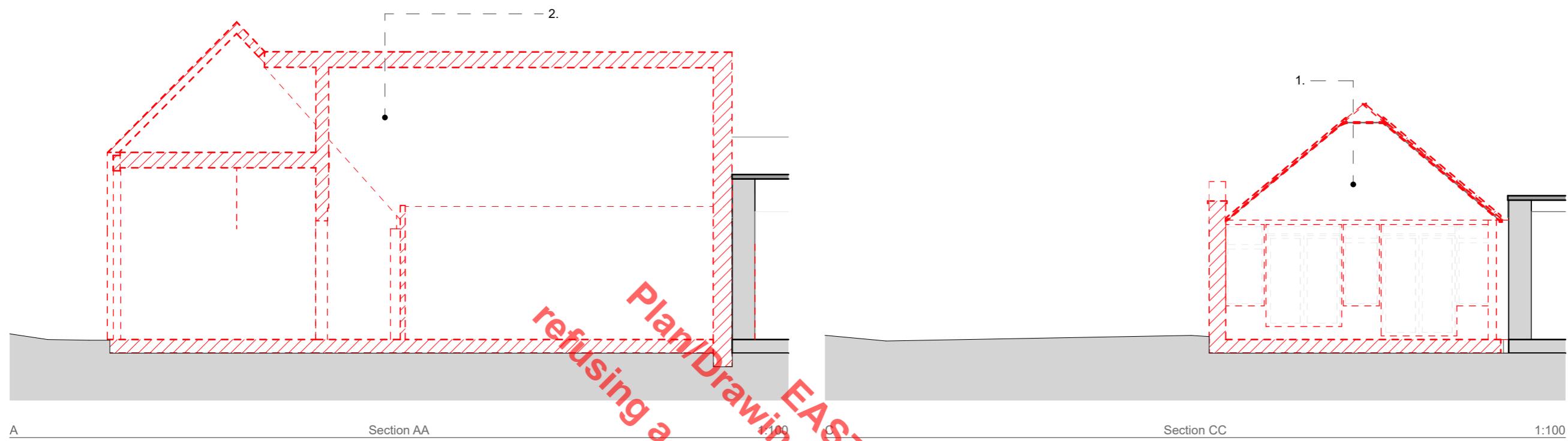
1. White K-rend cement render.
2. Vertical Natural Larch timber cladding.
3. Glass Panel Balustrade.
4. Insulated metal roof panels - red to match adjacent clubhouse
5. Cut out to allow natural light into North terrace
6. Light grey engineering brick



- GENERAL NOTES:**
- Σ All work to comply with the Building (Scotland) Regulations 2004 as amended
 - Σ All site works to be in accordance with the Construction (Design and Management) Regulations 2015.
 - Σ All products to be installed per manufacturer's recommendations
 - Σ All dimensions in mm & are to be verified on site
 - Σ To be read in conjunction with other contract drawings, schedules & specifications.
 - Σ To be read in conjunction with structural engineer's drawings.

Issues			
02	20-12-21	ER	Planning Issue
03	06/01/22	ER	Planning Revision 1

Changes on Sheet
Layout Updated



EAST LOTHIAN COUNCIL
refusing a grant of planning permission 21/01599/P
Plan Drawing listed on the Decision Notice of
30/10/2023

Legend:	
	Indicates site boundary
	Indicates demolition

Downtakings.

Key:

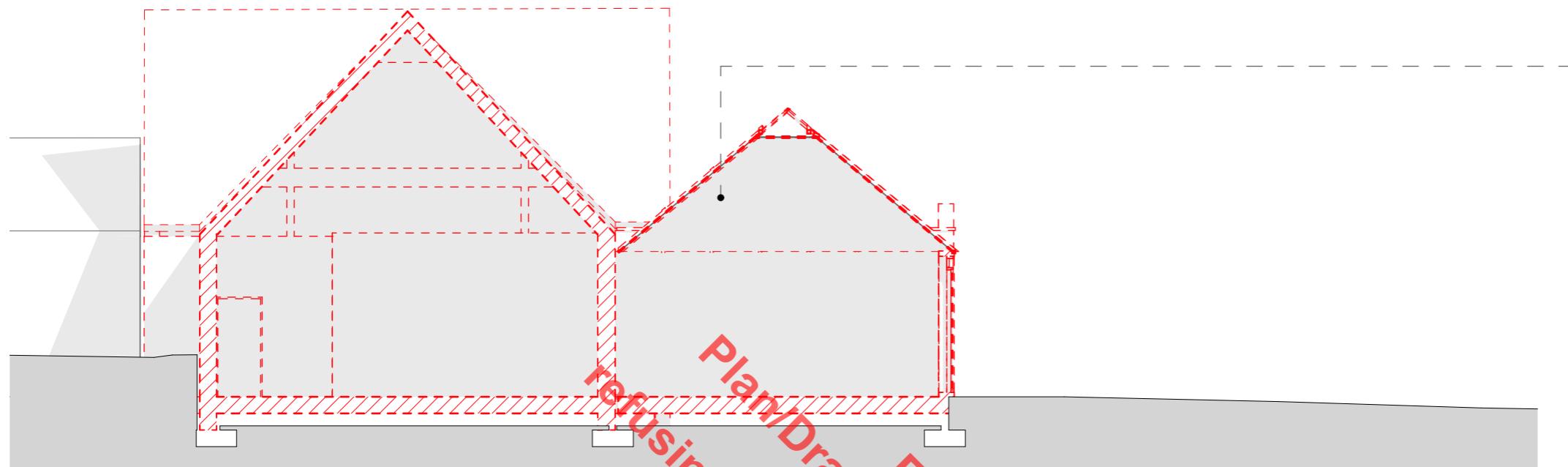
1. Conservatory removed and existing floor lifted.
2. Blockwork and render shed with pan tile roof removed.
3. Existing workshop/storage shed
4. Existing Clubhouse

GENERAL NOTES:

- Σ All work to comply with the Building (Scotland) Regulations 2004 as amended
- Σ All site works to be in accordance with the Construction (Design and Management) Regulations 2015.
- Σ All products to be installed per manufacturer's recommendations
- Σ All dimensions in mm & are to be verified on site
- Σ To be read in conjunction with other contract drawings, schedules & specifications.
- Σ To be read in conjunction with structural engineer's drawings.

All levels and dimensions to be checked on site prior to construction / fabrication; report discrepancies immediately. This drawing is copyright protected.

Issues			
02	20-12-21	ER	Planning Issue
03	06/01/22	ER	Planning Revision 1



02

1:100

East Elevat

A redacted planning drawing titled 'EAST LOTHIAN COUNCIL' showing an 'East Elevation' of a building. The drawing is oriented vertically and features a dashed red rectangular border around the main structure. Two callout points are labeled: point 2 is located on the left side of the building's facade, and point 3 is located on the right side. The date '30/10/2023' is printed near the bottom of the drawing area. A large red watermark across the entire image reads 'Plan Drawing listed on the Decision Notice of refusing a grant of planning permission 21/01599/R'.

Downtakings.

Key:

1. Conservatory removed and existing floor lifted.
 2. Blockwork and render shed with pan tile roof removed.
 3. Existing workshop/storage shed
 4. Existing Clubhouse

Legend:

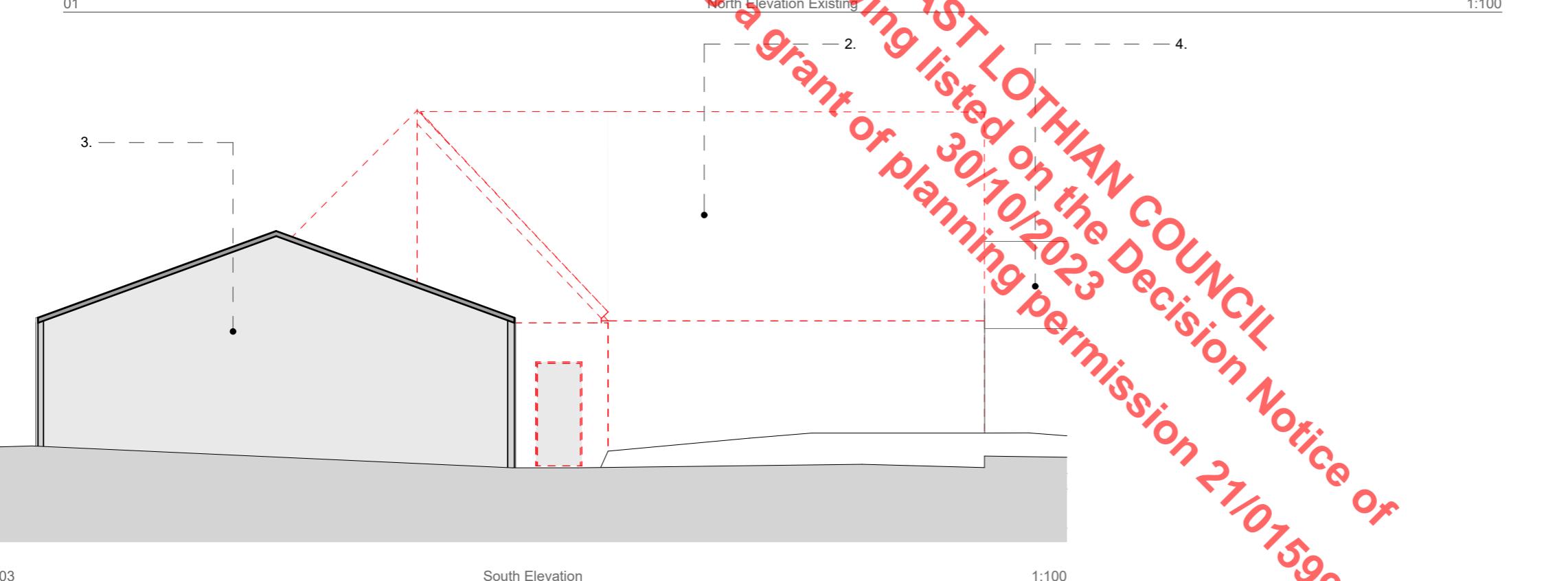
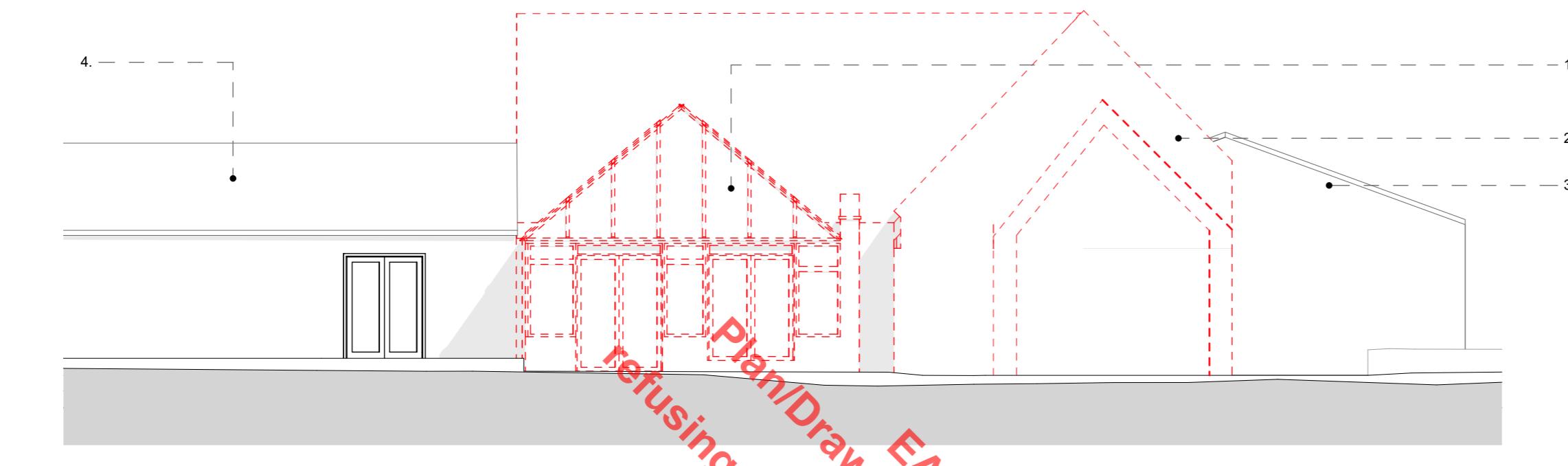
- Indicates site boundary
 -  Indicates demolition

GENERAL NOTES:

- Σ All work to comply with the Building (Scotland) Regulations 2004 as amended
 - Σ All site works to be in accordance with the Construction (Design and Management) Regulations 2015.
 - Σ All products to be installed per manufacturer's recommendations
 - Σ All dimensions in mm & are to be verified on site
 - Σ To be read in conjunction with other contract drawings, schedules & specifications.
 - Σ To be read in conjunction with structural engineer's drawings.

Issues			
02	20-12-21	ER	Planning Issue
03	06/01/22	ER	Planning Revision 1

Changes on Sheet
Layout Updated



Downtakings.

Key:

- 1. Conservatory removed and existing floor lifted.
- 2. Blockwork and render shed with pan tile roof removed.
- 3. Existing workshop/storage shed
- 4. Existing Clubhouse

Legend:

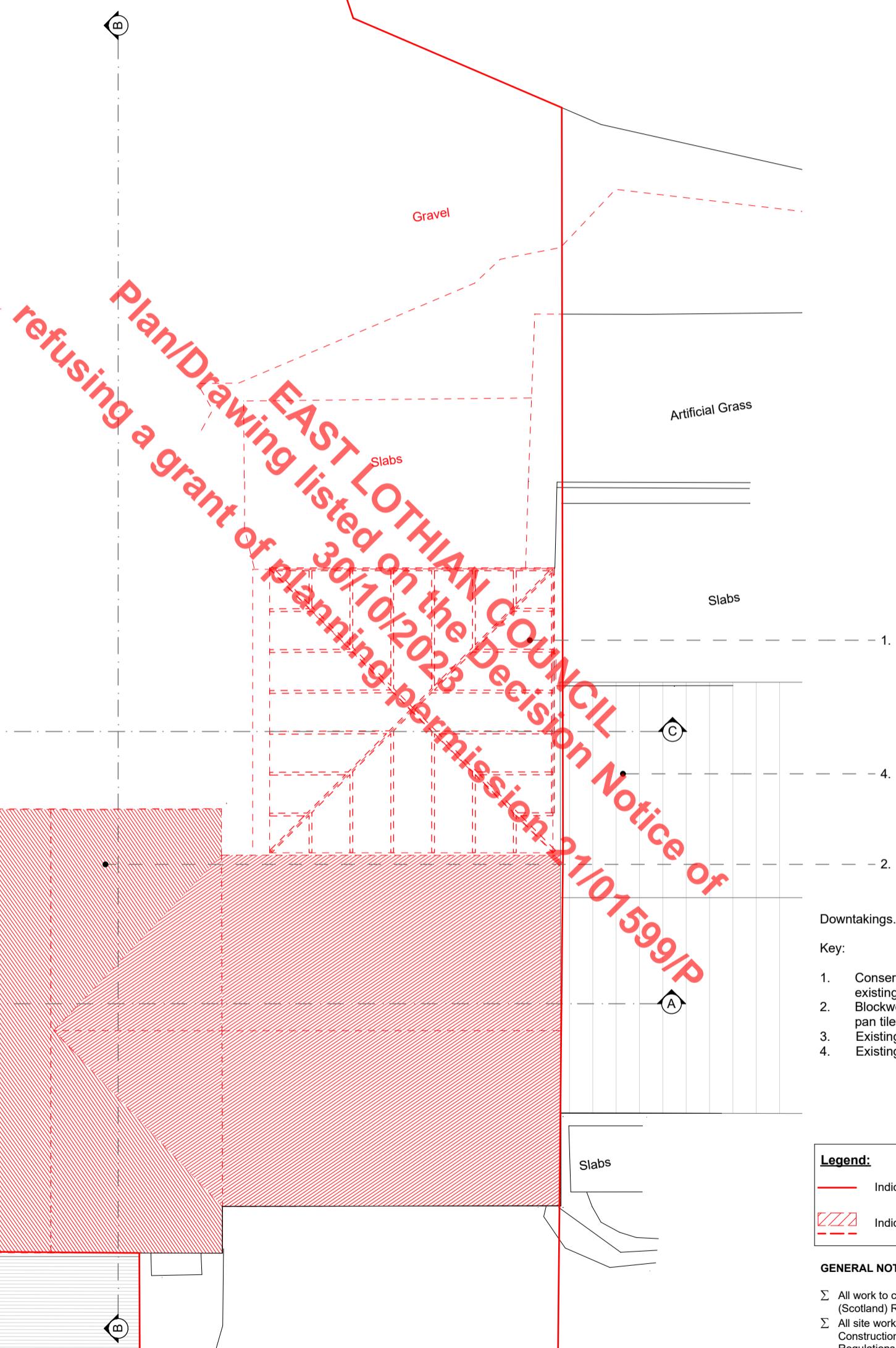
- | | |
|---------------------------------------|-------------------------|
| — | Indicates site boundary |
| ████ | Indicates demolition |

GENERAL NOTES:

- Σ All work to comply with the Building (Scotland) Regulations 2004 as amended
- Σ All site works to be in accordance with the Construction (Design and Management) Regulations 2015.
- Σ All products to be installed per manufacturer's recommendations
- Σ All dimensions in mm & are to be verified on site
- Σ To be read in conjunction with other contract drawings, schedules & specifications.
- Σ To be read in conjunction with structural engineer's drawings.

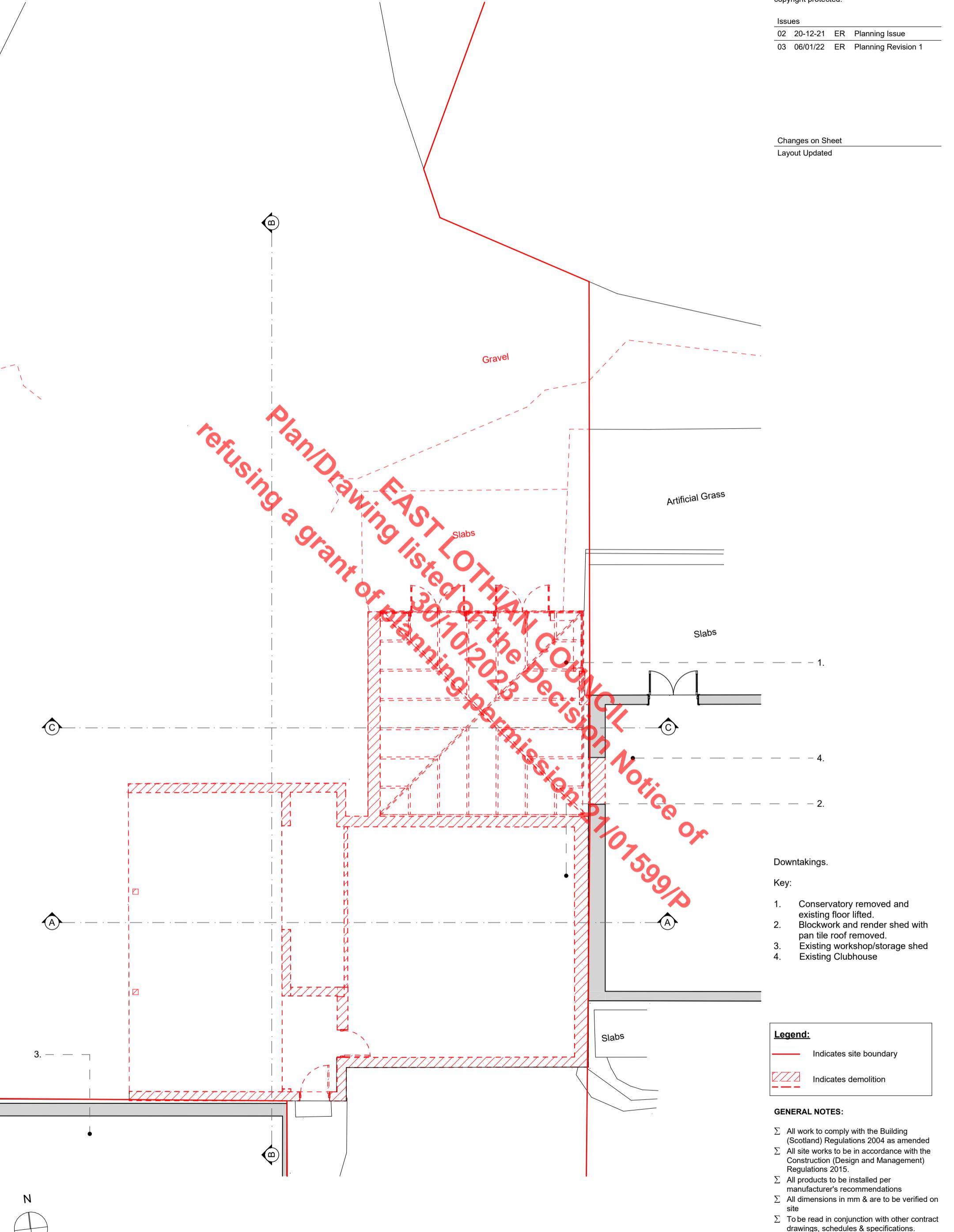
Issues			
02	20-12-21	ER	Planning Issue
03	06/01/22	ER	Planning Revision 1

Changes on Sheet
Layout Updated



Issues			
02	20-12-21	ER	Planning Issue
03	06/01/22	ER	Planning Revision 1

Changes on Sheet
Layout Updated

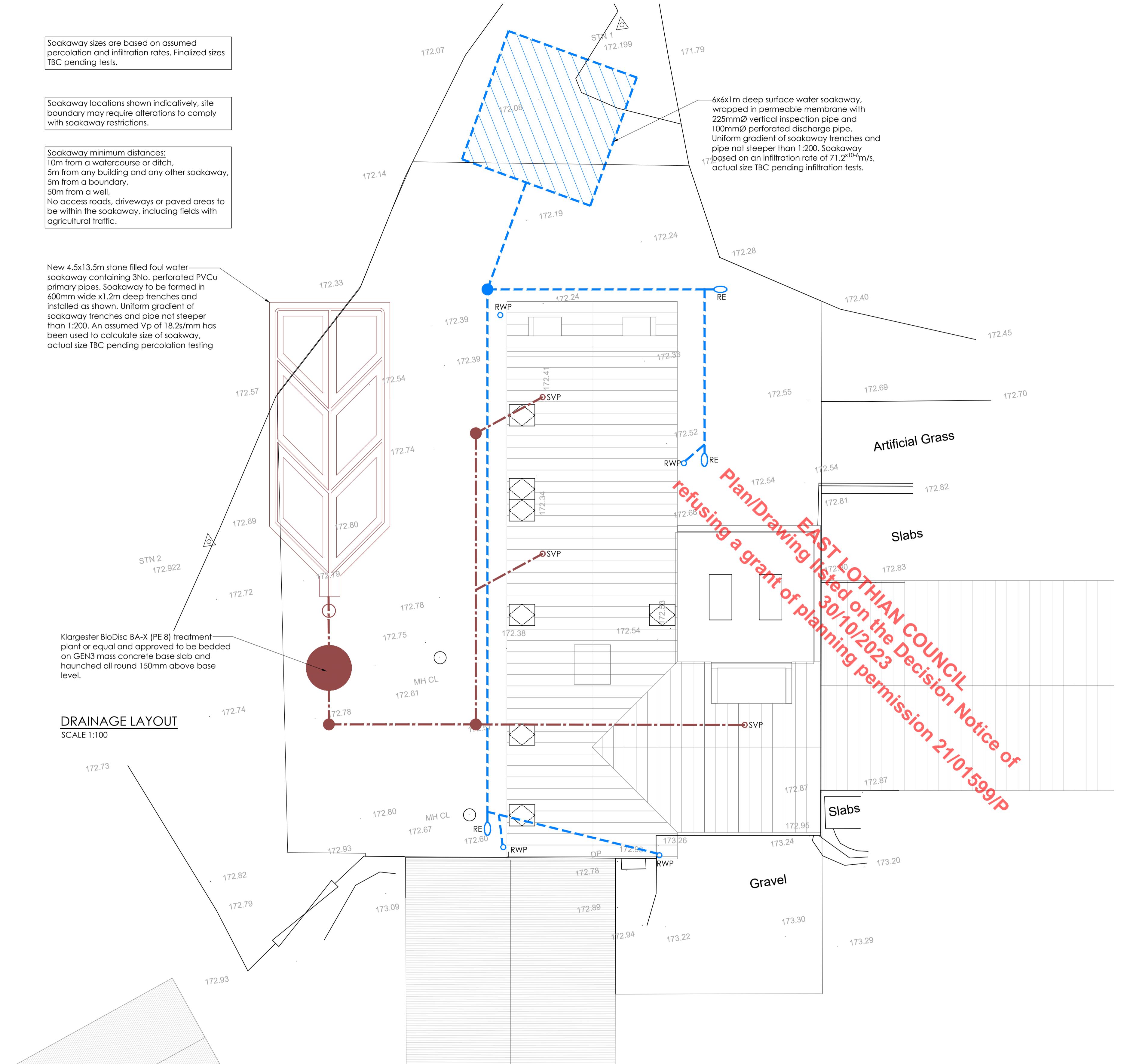


- NOTES**
- All DNA drawings are to be read in conjunction with the relevant DNA Specification and all relevant Architect's and Service Engineer's drawings and Specifications.
 - All dimensions and setting out to be confirmed by the Architect.

DRAINAGE LEGEND	
	Denotes proposed 100mm dia (UNO) PVCu foul water drainage laid at 1:80 in Bedding Class P.
	Denotes proposed 100mm dia (UNO) PVCu surface water drainage laid at 1:80 (U.N.O) in Bedding Class P.
	Proposed UPVC 450mm dia foul water manhole.
	Proposed UPVC 450mm dia surface water manhole.
	RWP Denotes Rain Water Pipe
	OSVP Denotes SVP
	RE Denotes Rodding-Eye

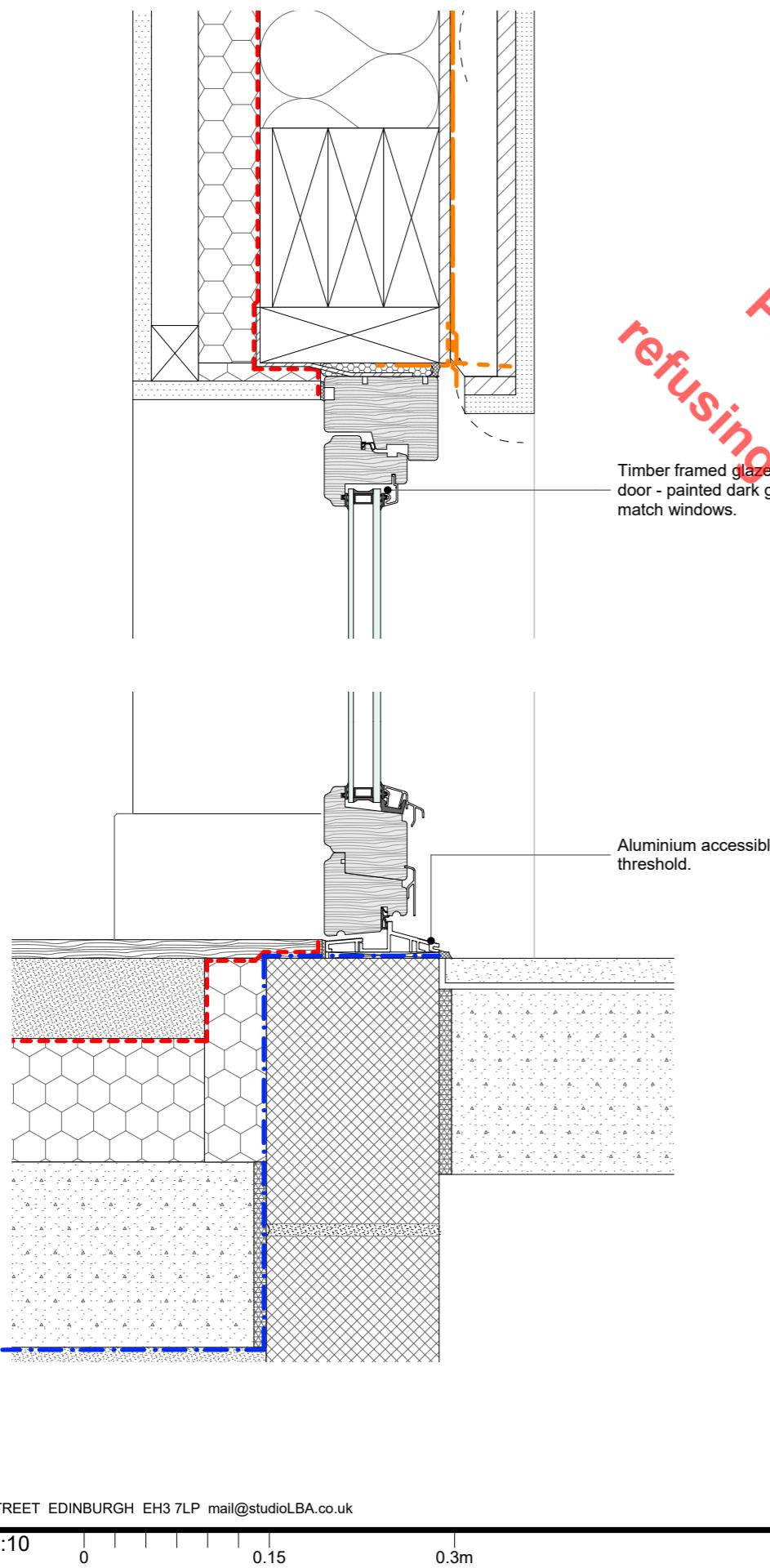
DRAINAGE NOTES

- All adoptable drainage work shall be designed and carried out in conformance with "Sewers for Scotland" - 3rd Edition and "Civil Engineering Specification for the Water Industry" - 7th Edition and shall be to fully comply with the Scottish Building Standards and Local Authority/Scottish Water approval. Scottish Water should be notified prior to accessing or alteration to any public sewers.
- The drainage system shall be constructed in accordance with the manufacturer's recommendations and with Sections 3.5 to 3.9 of the Building Standards (Scotland) Regulations and BS EN 12056-2:2000, BS EN 752:2017 all to the satisfaction of the Local Authority.
- All locations and dimensions, including existing drainage diameter, falls, lengths, invert and cover levels, and site dimensions of proposed drainage to be checked on site by the Contractor, prior to ordering of materials. For exact locations of pop ups to all RWP's and SVP's refer to Architect's drawings.
- In case of discrepancy between drawings or lack of dimensions the Contractor should consult DNA before works proceed.
- All existing services to be determined by the Contractor prior to construction commencing.
- All new drainage is to be pressure tested in coordination with the Local Authority prior to any backfilling. The tests are to be witnessed and recorded. This is to be done as per the Local Authority regulations as required.
- The Contractor is to allow for all traffic management in connection with road and sewer works. All necessary permits for traffic management must be obtained prior to implementation of any schemes. The contractor is solely responsible for obtaining the permits.
- The Main Contractor is responsible for payment of all fees in connection with permit to connect/infrastructure charges to Scottish Water.
- Every dwelling with a drainage system discharging to a private wastewater treatment plant or septic tank should be provided with a label to alert the occupiers to such an arrangement complying with clause 3.8.7, located adjacent to the gas or electricity consumer unit or water stopcock. The label should describe the recommended maintenance necessary for the system and should include the following: 'The drainage system from this property discharges to a wastewater treatment plant (or septic tank, as appropriate). The owner is legally responsible for routine maintenance and to ensure that the system complies with any discharge consent issued by SEPA and that it does not present a health hazard or a nuisance.'
- Note that a sampling chamber after the treatment plant/ septic tank should satisfy the criteria and match the diagram within guidance clause 3.8.3 of the Domestic Technical Handbook.
- Concrete protection shall be provided to all pipework where cover is less than 1200mm under roads and any areas with vehicular access such as yards etc. and 900mm under footpaths and soft landscaping.
- All gully branches/rain water pipes, branch tails etc. to be 150mm uPVC pipes unless otherwise noted, as approved by Scottish Water.
- All rainwater pipes are to be trapped and provided with rodding access on vertical.
- Existing sewer section sizes, cover levels and invert levels are taken from Scottish Water records unless otherwise noted.
- Refer to Architect's drawings for surface finishes.



Rev	Description	Chk	Drn	Date
Status COMMENT				
david narro associates Consulting Structural & Civil Engineers				
C	34-36 Argyle Place, Edinburgh, EH9 1JT 0131 2293553			
C	26 James Morrison Street, Glasgow, G1 5PE 0141 2216960			
C	Alton House, 4 Balloch Road, Inverness, IV3 5PJ 01463 214690			
C	5 Viewfield Place, Stirling, FK8 1NQ 01786 447562			
C	Banchory Business Centre, Banchory, Aberdeenshire, AB31 5ZU 01339 822789			
W	http://www.davidnaro.co.uk	E	mailto:davidnaro.co.uk	
Client MR CRAIG MCLACHLAN				
Architect LYNSAY BELL ARCHITECTS				
Job Title CASTLE PARK HOUSE				
Sheet Title DRAINAGE LAYOUT				
Drawn by GM	Designed IM	Checked RT		
Scale AS NOTED @ A1	Date DEC 2021			
Drawing number 21.1984-SK01	Revision -			

Changes on Sheet



Plan/Drawing refused, grant of planning permission of
EAST LOTHIAN COUNCIL listed on the Decision Notice of
30/10/2023
DET 01

Door elevation 1:10

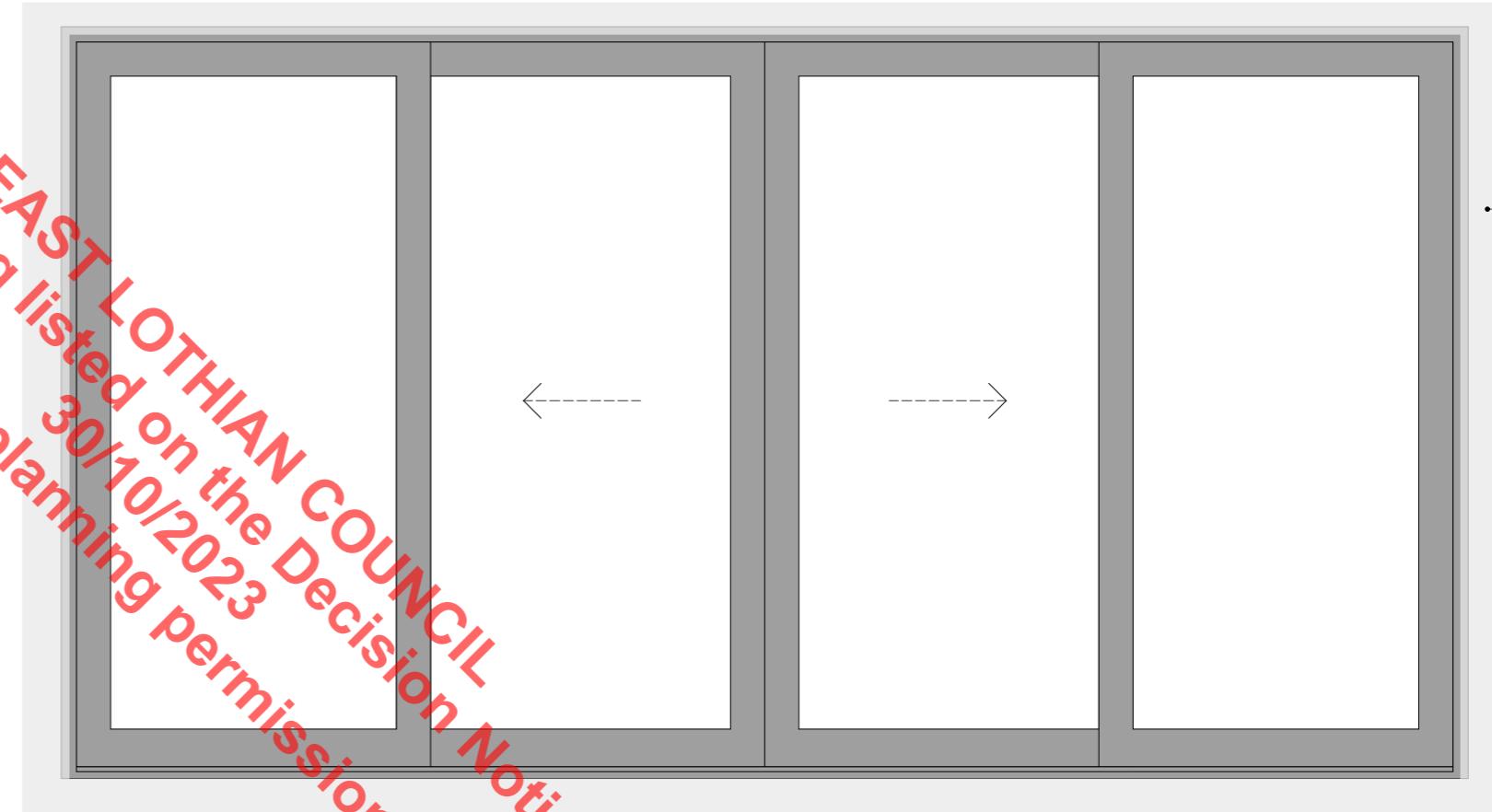
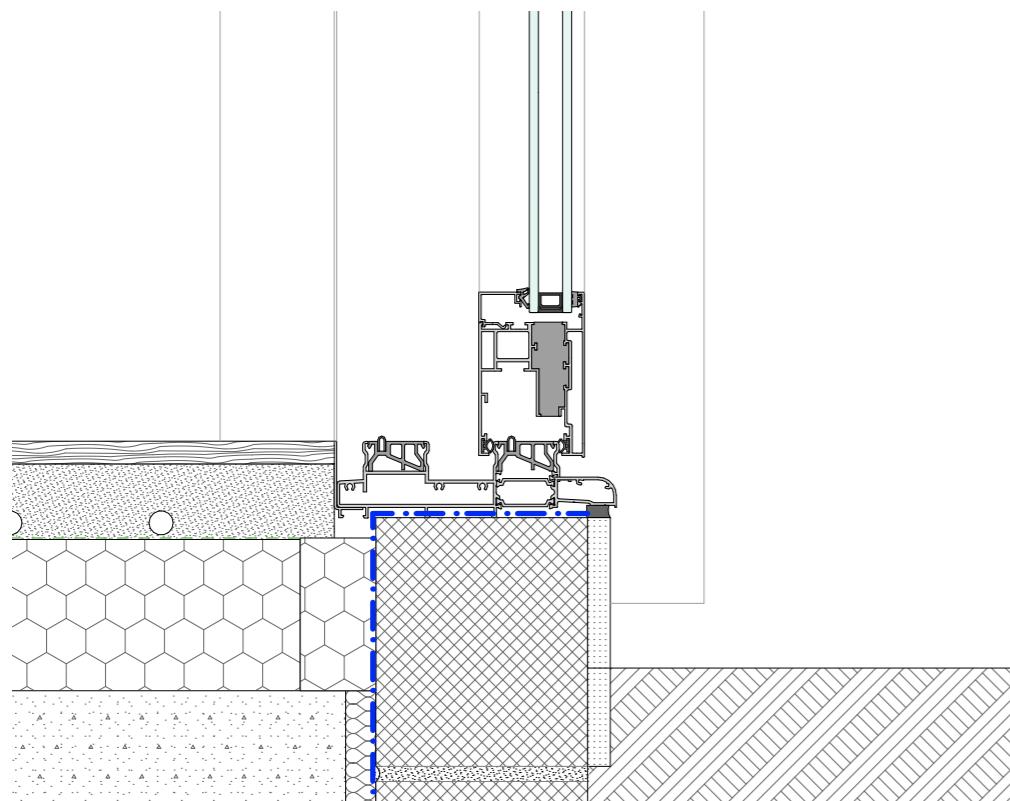
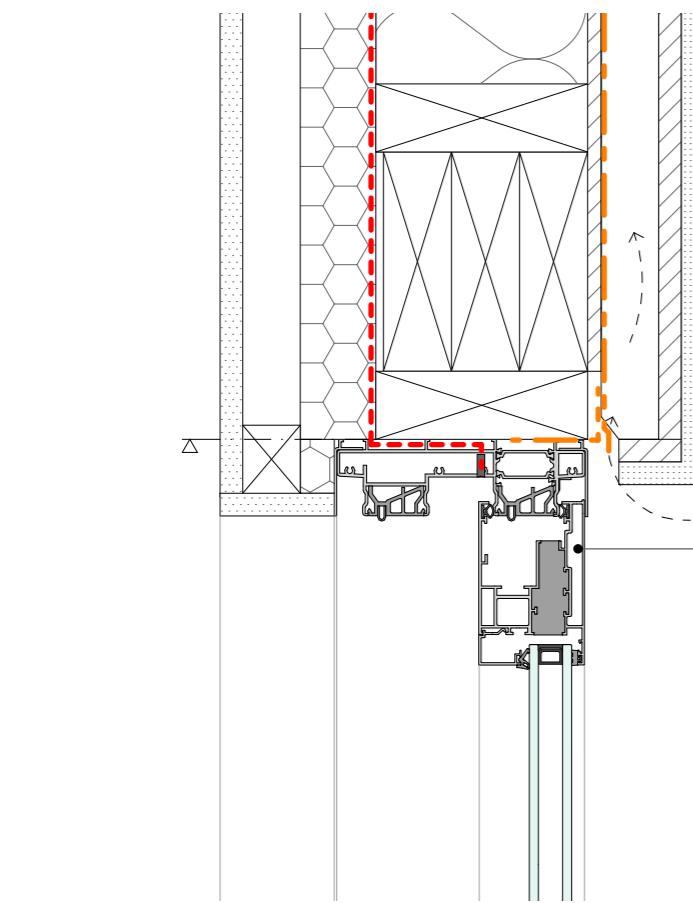
1:10

0 0.1 0.2 0.3m

GENERAL NOTES:

- Σ All work to comply with the Building (Scotland) Regulations 2004 as amended
- Σ All site works to be in accordance with the Construction (Design and Management) Regulations 2015.
- Σ All products to be installed per manufacturer's recommendations
- Σ All dimensions in mm & are to be verified on site
- Σ To be read in conjunction with other contract drawings, schedules & specifications.
- Σ To be read in conjunction with structural engineer's drawings.

Changes on Sheet



2

Door Elevation 1:20

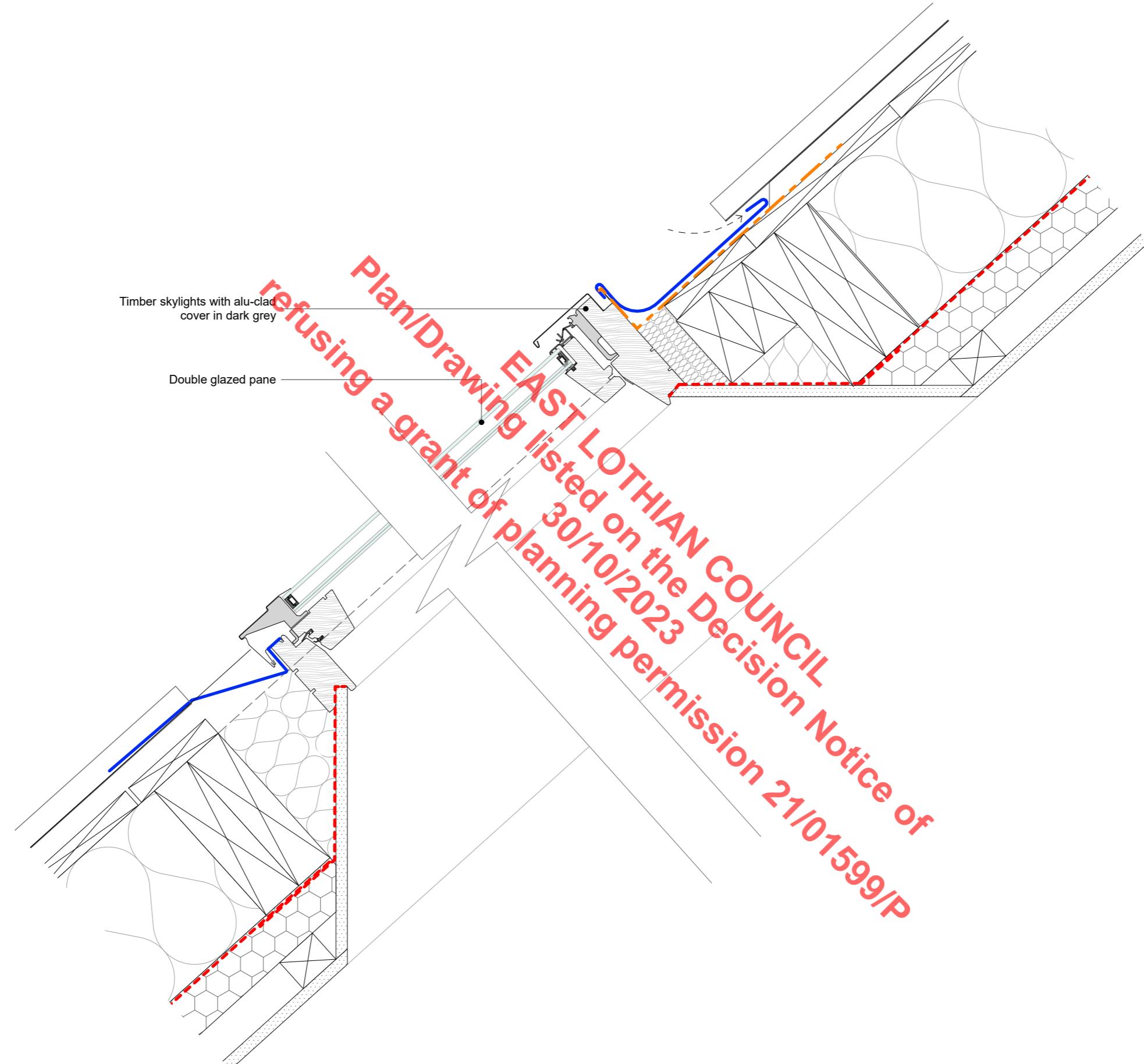
1:20

0 0.2 0.4 0.6m

GENERAL NOTES:

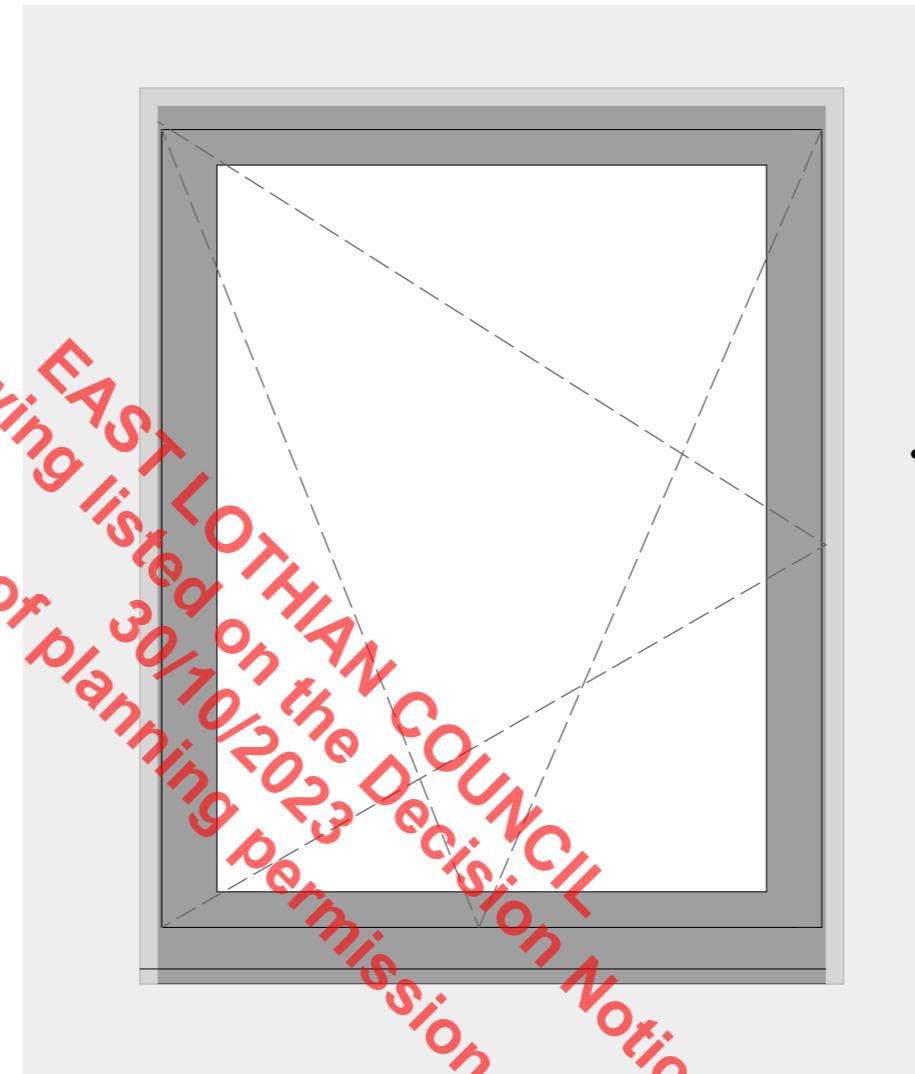
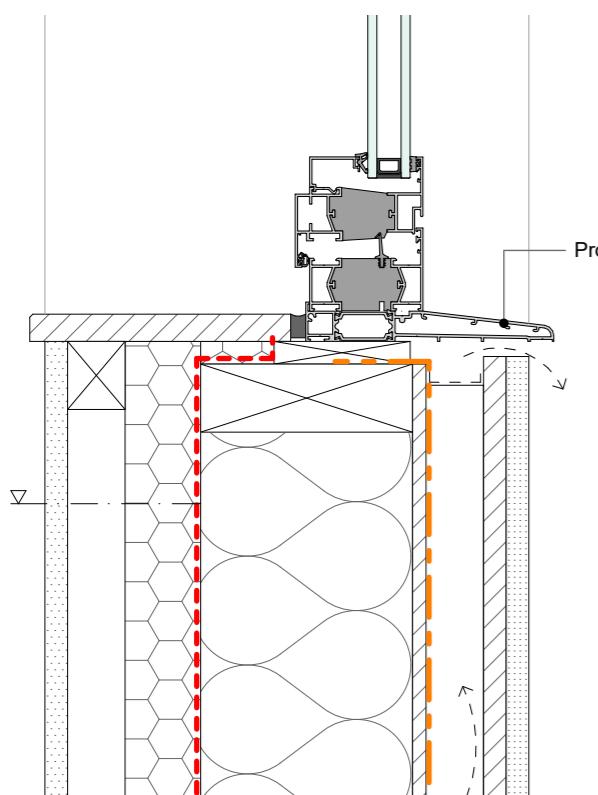
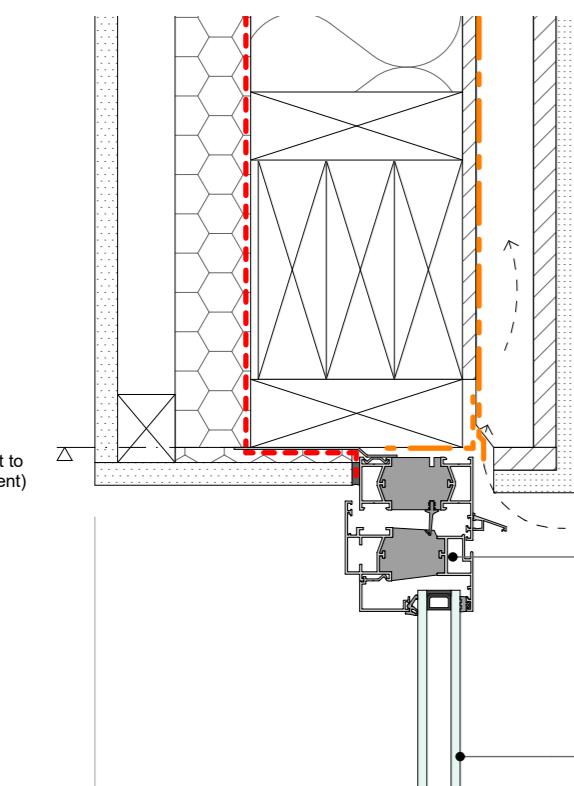
- Σ All work to comply with the Building (Scotland) Regulations 2004 as amended
- Σ All site works to be in accordance with the Construction (Design and Management) Regulations 2015.
- Σ All products to be installed per manufacturer's recommendations
- Σ All dimensions in mm & are to be verified on site
- Σ To be read in conjunction with other contract drawings, schedules & specifications.
- Σ To be read in conjunction with structural engineer's drawings.

Changes on Sheet



GENERAL NOTES:

- Σ All work to comply with the Building (Scotland) Regulations 2004 as amended
- Σ All site works to be in accordance with the Construction (Design and Management) Regulations 2015.
- Σ All products to be installed per manufacturer's recommendations
- Σ All dimensions in mm & are to be verified on site
- Σ To be read in conjunction with other contract drawings, schedules & specifications.
- Σ To be read in conjunction with structural engineer's drawings.



DET 01

Section Detail

1:5
0 0.05 0.1m

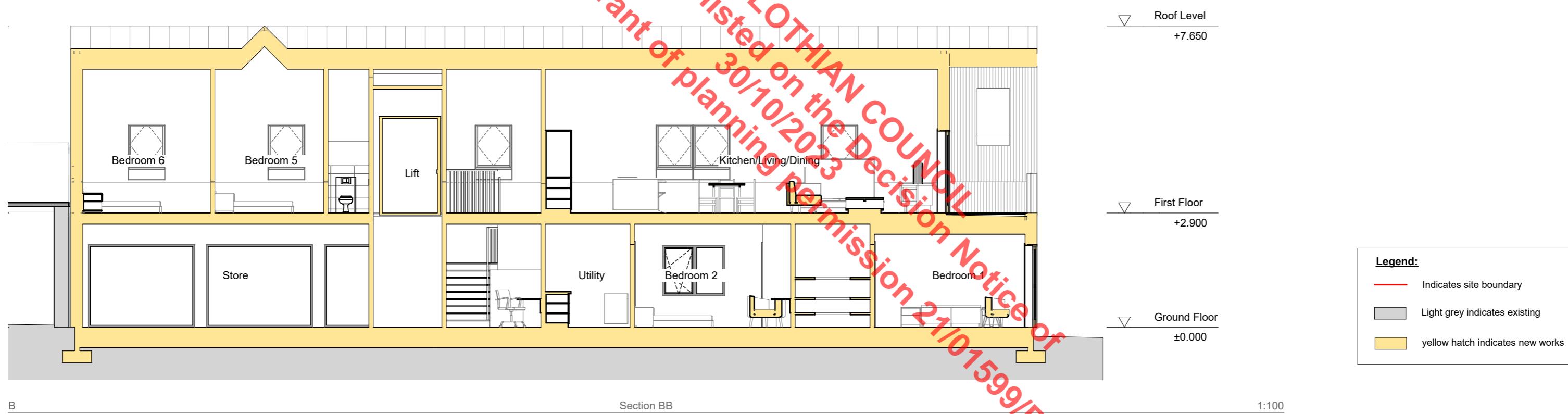
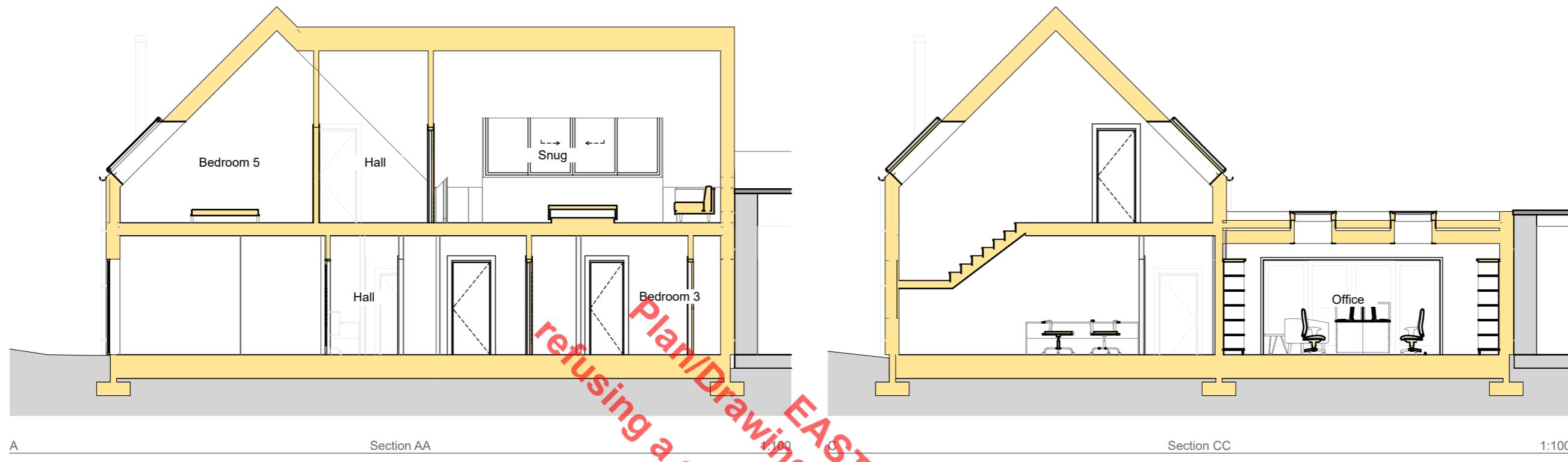
GENERAL NOTES:

- Σ All work to comply with the Building (Scotland) Regulations 2004 as amended
- Σ All site works to be in accordance with the Construction (Design and Management) Regulations 2015.
- Σ All products to be installed per manufacturer's recommendations
- Σ All dimensions in mm & are to be verified on site
- Σ To be read in conjunction with other contract drawings, schedules & specifications.
- Σ To be read in conjunction with structural engineer's drawings.

Issues

02 20-12-21 ER Planning Issue

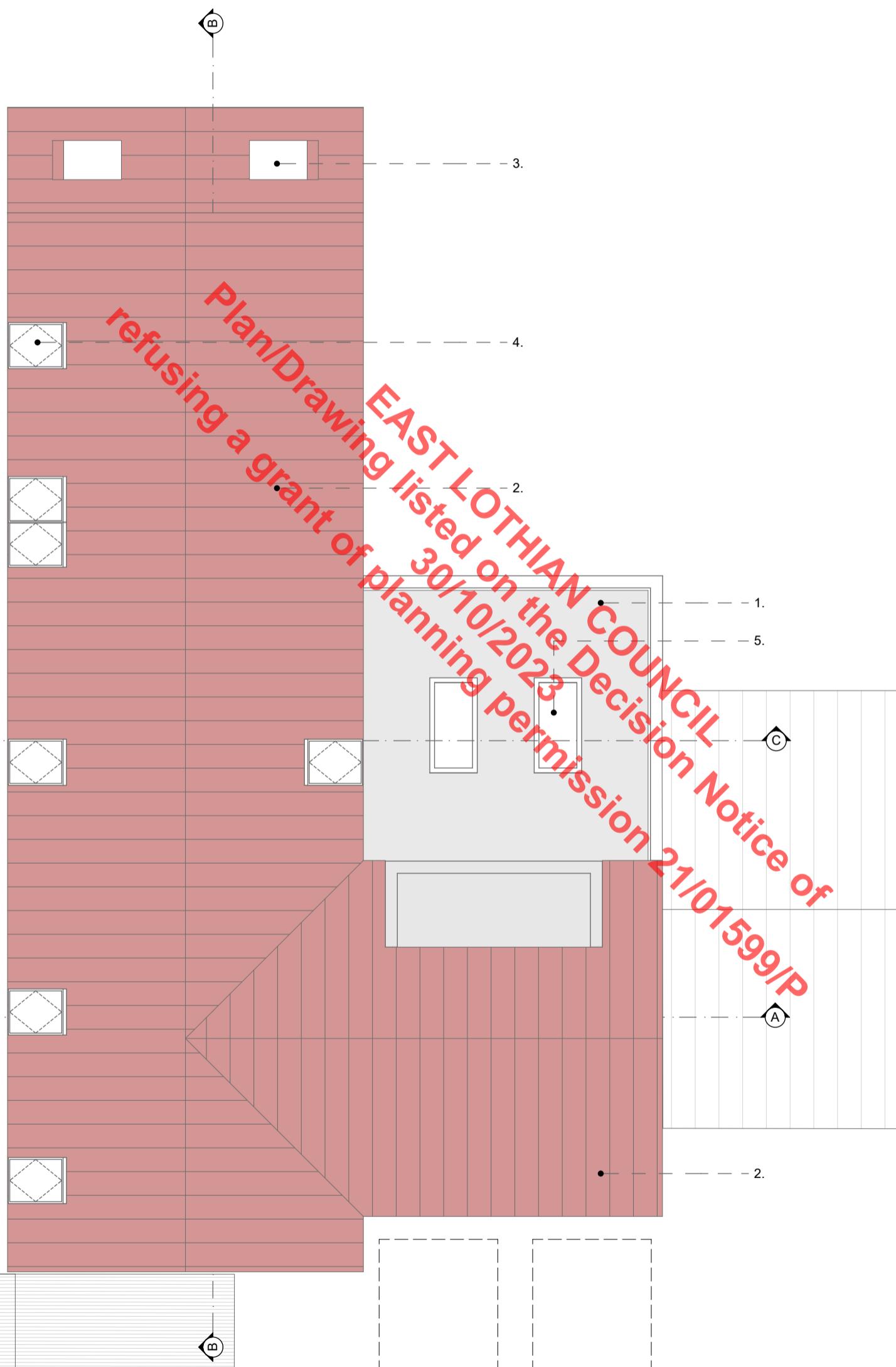
Changes on Sheet



GENERAL NOTES:

- >All work to comply with the Building (Scotland) Regulations 2004 as amended
- All site works to be in accordance with the Construction (Design and Management) Regulations 2015.
- All products to be installed per manufacturer's recommendations
- All dimensions in mm & are to be verified on site
- To be read in conjunction with other contract drawings, schedules & specifications.
- To be read in conjunction with structural engineer's drawings.

Changes on Sheet



General:

- All windows and doors to be aluminium framed - colour: Anthracite
- All RWP to be round, and gutters to half round - colour: Anthracite

Key:

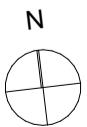
1. Single ply flat roof in grey.
2. Red metal prefabricated insulated roofing panels.
3. Cut out in roof
4. Rooflight - frame in anthracite grey
5. Flat roof light - frame in anthracite grey

Legend:

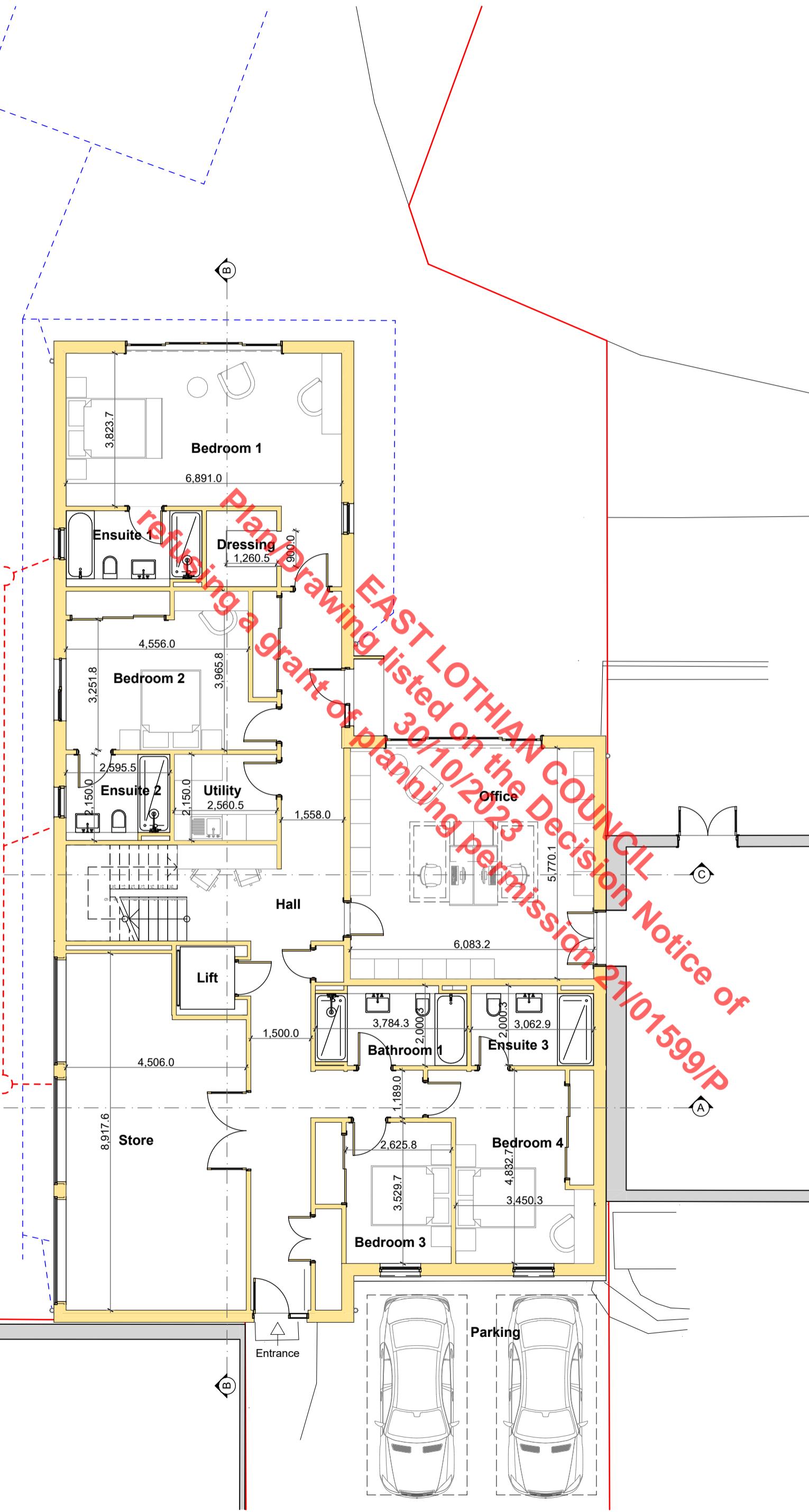
- | | |
|--|--|
| — | Indicates site boundary |
| — | Light grey indicates existing |
| — | yellow hatch indicates new works |
| — | Indicates red metal prefabricated insulated roofing panels |

GENERAL NOTES:

- Σ All work to comply with the Building (Scotland) Regulations 2004 as amended
- Σ All site works to be in accordance with the Construction (Design and Management) Regulations 2015.
- Σ All products to be installed per manufacturer's recommendations
- Σ All dimensions in mm & are to be verified on site
- Σ To be read in conjunction with other contract drawings, schedules & specifications.
- Σ To be read in conjunction with structural engineer's drawings.



Changes on Sheet



GENERAL NOTES:

- All work to comply with the Building (Scotland) Regulations 2004 as amended
- All site works to be in accordance with the Construction (Design and Management) Regulations 2015.
- All products to be installed per manufacturer's recommendations
- All dimensions in mm & are to be verified on site
- To be read in conjunction with other contract drawings, schedules & specifications.
- To be read in conjunction with structural engineer's drawings.

OFFICER REPORT

18th October 2023

App No. 21/01599/P

Application registered on **31st January 2022**

Target Date **30th March 2022**

Proposal	Erection of 1 house and associated works	SDELL	Y
		CDEL	N
Location	Land Adjacent To Castlepark Golf Club		
	Yester	Bad Neighbour	
	Gifford	Development	N
	East Lothian		
	EH41 4PL		

APPLICANT: Castle Park Golf & Leisure LLP

Is this application to be approved as a departure from structure/local plan? N

**c/o LBA
Per Elliot Reilly
18 Walker Street
Edinburgh
EH3 7LP**

DECISION TYPE:

Application Refused

PLANNING ASSESSMENT

The application site relates to an area of land at Castle Park Golf Club, which occupies a countryside location to the southeast of Gifford. The Golf Club consists of an 18 hole golf course, driving range, a clubhouse, ancillary buildings and a car park. It is located within the Yester House Designed Landscape.

The application site currently has on it a storage shed for the golf course and an existing sun room which forms part of the existing golf clubhouse.

In August 2019 planning permission (ref: 19/00632/P) was sought for 2 caravans that have been sited to the north of the existing golf clubhouse building and which are in residential use. It was stated in that application that the two static caravans are used as the permanent residence of the Golf Club owner and his family and that they have been on site since 2017 when they were originally sited on a temporary basis while repairs were being undertaken to the applicant's house. The applicant was seeking to justify the requirement for the two static caravans as a permanent residence within the Castle Park Golf Club site on the grounds that it had become apparent that being on site has bolstered security whilst the course and club

house were being developed and submitted information from Police Scotland relating to security at golf clubs.

In determining application 19/00632/P, the Planning Assessment found that the applicant had presented no evidence to demonstrate why other security measures could not be used to deter and seek to prevent crime at the golf club, and on that matter, there are many other golf clubs operating in the countryside without the requirement for someone to live on site. Consequently it was found there was no justification of need for a residential unit to be located on site to bolster security and therefore there was no operational requirement for the 2 caravans to be sited at the Golf Club as a permanent residential dwelling.

Therefore, in October 2019 planning permission was refused for the siting of the 2 caravans, as a need to meet the requirements of the operation of an agricultural, horticultural, forestry, countryside recreation, or other business, leisure or tourism use had not been demonstrated, contrary to Policies DC1 and DC4 of the adopted East Lothian Local Development Plan 2018 and that approving the proposal would set an undesirable precedent for the siting of caravans within the countryside as residential dwellings, the cumulative effect of which would result in a detrimental impact on the rural character of the countryside in East Lothian.

Through this current application planning permission is sought for the erection of a new house and associated works on the application site. The proposed house is sought as living accommodation in association with the operation of the existing leisure and tourism business of Castle Park Golf Club.

The proposed house would be two-storeys in height with pitched and gabled roof, would have six bedrooms and would include a study/office space and a store. It would be finished externally with a white render and vertical larch cladding. Its windows and doors would have anthracite metal frames. The pitched roofs of the house would be clad with red corrugated metal cladding.

The proposed house would attach at its east side to the existing golf clubhouse and would have direct access to the clubhouse from the office to be formed within it. It would partly abut an existing golf club building on its south side. There would be garden ground to 3 sides of the proposed house.

Vehicular access to the proposed house would be taken from the existing golf club access road to the south of the site. Parking for 2 vehicles would be provided on the south side of the proposed house.

A Design and Access Statement has been submitted in support of the application.

In the supporting Design and Access Statement it is explained that the application seeks to create a new family home as a direct operational requirement of the existing leisure and tourism business of Castle Park Golf Club in order to support the daily needs of the golf club and that there is currently no house available and no available vacant building on the site suitable for conversion to a house. It is further explained that the applicant is responsible for the management and running of the golf club business, and that suitable accommodation is required in order that the day-to-day operation of the business can continue, all to ensure the long-term success of it.

Further to this there has been submitted a confidential Supporting Statement, five year forecast report, four years of accounts information and a business structure report provided to support the applicants case of the need for a new house on the site to serve the golf club.

DEVELOPMENT PLAN

Section 25 of the Town and Country Planning (Scotland) Act 1997 requires that the application for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.

The development plan is the adopted National Planning Framework 4 (NPF4) and the adopted East Lothian Local Development Plan 2018.

Policies 1 (Tackling the climate and nature crises), 2 (Climate mitigation and adaptation), 3 (Biodiversity), 7 (Historic assets and places), 14 (Design, quality and place), 16 (Quality homes) and 17 (Rural homes), 22 (Flood risk and water management) of NPF4 are relevant to the determination of this application.

Also relevant to the determination of the application are Policies DC1 (Rural Diversification), DC4 (New Build Housing in the Countryside), CH6 (Gardens and Designed Landscapes), DP1 (Landscape Character), DP2 (Design), T1 (Development Location and Accessibility) and T2 (General Transport Impact) of the adopted East Lothian Local Development Plan 2018.

RPRESENTATIONS

Two written objections to the application have been received. The main grounds of objection can be summarised as follows:

- (i) the 2 caravans the subject of application 19/00632/P are still on the site and are unauthorised;
- (ii) there were recently houses in the vicinity up for sale which the applicant could have bought;
- (iii) the proposed development would be harmful to the Yester House Designed Landscape;
- (iv) it is questioned whether there is a direct operational requirement for the manager of the golf club to be on site 24/7 as the previous owner of the golf club lived off site and was able to run the business; and
- (v) the development may not achieve harmony with the local vernacular.

COMMUNITY COUNCIL

None

PLANNING ASSESSMENT

Scottish Water has been consulted on the application and raise no objection.

The application site is set back some distance from the public road to the south, and would be positioned within the complex of buildings of the golf club. Thus, in views from the public road from the south, the site is not readily visible and the proposed house would be seen in relation to the existing golf club buildings. In this context the proposed house would not

appear overly dominant alongside the existing buildings and by virtue of its height, scale and massing, the proposed house would not be out of keeping with the height, scale and massing of the adjacent buildings and would not appear harmfully dominant or intrusive alongside those existing buildings and would be well integrated into the landscape in a manner compatible with its surroundings. The palette of external finishes of the proposed house would complement the palette of materials and colours of the existing buildings in the locality and would not cause the proposed house to appear harmfully dominant within its landscape setting.

By virtue of its height, size, scale, architectural form, external finishes, and positioning the proposed house would not appear harmfully intrusive, incongruous or exposed in its landscape setting. In their relationship with the proposed house and the setting of the application site, neither would the proposed garden ground of the house, the driveway and parking area.

By virtue of it being a sympathetic development alongside the group of buildings at the golf club and thus its integration with that group of buildings, the proposed development would not harm the landscape character of the Yester House Designed Landscape.

Owing to its size, the area of land to be changed in use to residential garden ground for the proposed new house would be capable of accommodating a further house(s). However, the principle of such other new build housing development without an operational justification of need would be contrary to Policies DC1 and DC4 of the adopted East Lothian Local Plan 2018 and should an application for such development be forthcoming, such proposals would stand to be determined on their own merits.

Due to its position, height, orientation and distance away from the nearest neighbouring residential properties, the proposed development would not result in a harmful loss of privacy or sunlight or daylight to any neighbouring residential property.

The occupants of the proposed house would also benefit from a sufficient amount of privacy and amenity and its garden would benefit from a sufficient amount of sunlight,

On all of these forgoing considerations of design and layout the proposed house and associated development would not be harmful to the character and appearance of the area and would not be harmful to the Yester House Designed Landscape and thus would not conflict with Policies 7 and 14 of NPF4, or with Policies DP1, DP2 or CH6 of the adopted East Lothian Local Development Plan 2018.

The Council's Senior Environmental Health Officer raises no objection to the application.

The Council's Environmental Protection Officer (Contaminated Land) has advised that there is the possibility that there may be localised contamination of the soils on the site. Therefore he recommends a Geo-Environmental Assessment be undertaken prior to the commencement of development on the site. The requirement for such assessment could be controlled by a condition attached to a grant of planning permission, were that to be the decision.

The Council's Civil Engineer (Flooding) advises that the drainage proposals for the proposed house in the form of soakaways are acceptable subject to the results of tests of percolation and infiltration rates for them to be submitted for approval prior to the commencement of

development. Such a requirement could be imposed as a condition on a grant of planning permission, were that to be the decision. The proposed development would therefore not conflict with Policy 22 of NPF4.

Vehicular access to the proposed house would be taken from the existing golf club access road to the south of the site. Parking for a minimum of two cars would be provided on the driveway on the south side of the proposed house.

The Council's Road Services raise no objection to the proposed development being satisfied that the existing golf club access road, taken from the public road to the south, from which access to the proposed house would be taken is of a sufficient standard and can accommodate the vehicle movements associated with the proposed house, and that a sufficient provision of on-site parking would be provided to serve the proposed house. Accordingly, the proposed house can be safely accessed and provided with an acceptable amount of on-site parking. Consequently the proposed development does not conflict with Policies T1 and T2 of the adopted East Lothian Local Development Plan 2018.

At its meeting on Tuesday 27 August 2019 the Council approved a motion declaring a Climate Emergency. Thereafter, at its meeting on Tuesday 3 September 2019 the Council's Planning Committee decided that a condition requiring a developer to submit for the approval of the Planning Authority a report on the actions to be taken to reduce the carbon emissions from the buildings and from the completed development should be imposed on relevant applications for planning permission, which should include the provision of electric car charging points. Such a condition could be imposed on a grant of planning permission for this proposed development, in which case it would not conflict with Policies 1 or 2 of NPF4.

Notwithstanding all of the above considerations, the application site is not within an existing settlement of East Lothian or any area within an area designated as one of residential character and amenity by Policy RCA1 of the adopted East Lothian Local Development Plan 2018. Thus it is not within an existing residential area where the principle of the building of a house is acceptable. Rather the application site is in a countryside location within East Lothian and is part of a much larger area characterised by a low density dispersed built form within an agricultural landscape.

Therefore it is now necessary to consider whether the principle of the proposed building of a new house on the application site in a countryside location is consistent with national, strategic and local planning policy relating to the control of new housing development in the countryside.

Policy 17 of NPF4 in principle supports new homes in rural areas where the development is suitably scaled, sited and designed to be in keeping with the character of the area and the development is demonstrated to be necessary to support the sustainable management of a viable rural business and there is an essential need for a worker to live permanently at or near their place of work.

Paragraph 5.8 of Section 5 of the adopted East Lothian Local Development Plan 2018 states that "In general, East Lothian's countryside and coast is not an area that requires regeneration, renewal or action to address population decline". It is not a remote rural area where a more permissive planning policy approach to new housing in the countryside might be appropriate on these grounds. Rather, it is an area where "few, if any, locations are more than an hour's

drive time from Edinburgh or 30 minutes drive time from Musselburgh or Tranent, towns of over 10,000 people". On the whole it is characterised by increasing population and economic growth and a continuing pressure for housing development both within and outwith its towns and villages. Characteristic of the countryside is its wide range of types and sizes of attractive vernacular buildings that contribute greatly to its character. "As an accessible area where mobile demand for housing from Edinburgh will continue, it is important to protect against unsustainable growth in car-based commuting and the suburbanisation of the countryside. Most new housing development is therefore directed to towns and villages or planned extensions of these."

Paragraph 5.10 of Section 5 of the adopted East Lothian Local Development Plan 2018 states that the LDP has a general presumption against new housing in the countryside but exceptionally a new house may be justified on the basis of an operational requirement of a rural business that justifies the need for permanent accommodation.

Policy DC1 sets out specific criteria for new development in the countryside, stating that there will be support in principle for new development where it is for agriculture, horticulture, forestry or countryside recreation; or other businesses that have an operational requirement for a countryside location, including tourism and leisure uses.

Policy DC4 of the adopted East Lothian Local Development Plan 2018 only supports new build housing development in the countryside, and outwith the constrained coast, where there is no existing house or no appropriate existing building suitable for conversion to a house is available in the locality and: (i) In the case of a single house, where the Council is satisfied that it is a direct operational requirement of a viable agricultural, horticultural, forestry, countryside recreation or other business, leisure or tourism use supported in principle by Policy DC1; or (ii) In the case of other small scale housing proposals, it is for affordable housing and evidence of need is provided, and the registered affordable housing provider will ensure that the dwellings will remain affordable for the longer term.

The application site is not identified in the adopted East Lothian Local Plan 2008 as being within a settlement and the Local Plan does not allocate the land of the site for housing development. The main material consideration in the determination of this application is therefore whether or not there is a direct operational requirement for the house that derives from a viable agricultural, horticultural, forestry, countryside recreation or other business, leisure or tourism use within the countryside.

In the case of this application a Design and Access Statement and supporting planning statement has been submitted on behalf of the applicant. In these documents it is explained that following its closure in 2015, the current owners bought Castle Park Golf Club and worked to reopen it and significantly upgrade the club's facilities and improve the condition of the course. They also made a significant commitment to promote junior golf and create a good value and accessible golf destination. In this near 6 year period they have spent time living elsewhere and as a result suffered from repeated instances of vandalism, trespass and theft of machinery and other assets. This situation was exacerbated during the lockdown periods as a result of COVID19 when the golf course was shut with little or no activity or obvious personnel presence. During this period, the owners started living on-site in temporary accommodation. This ensured that there is a round-the-clock presence in terms of safety and security. The applicants are both owners and operators of the golf club and therefore are the key staff members who require to be at the course and clubhouse from early

in the morning to late at night, undertaking key maintenance/greenkeeping and manning the clubhouse bar/restaurant and reception areas.

It is further explained that the proposed new house would provide a permanent family home and suitable accommodation from which the day-to-day golf club operations could be managed, would enable the efficient management of the golf club and would provide security for it. It is explained that the proposed new house would be funded and owned by the business, not individuals, to ensure that the golf club has adequate provision for on-site servicing and security, due to its remote location, long into the future. The owner is required to file frequent police reports to the local authorities due to regular incidents of crime and vandalism on site. Providing a safe and secure home will allow the family to manage and monitor the site safely 24/7.

The Council's Agricultural and Rural Development Consultant has carried out a rural business appraisal of the proposed development based on an assessment of the supporting information submitted by the applicant's agent, which includes the viability of the golf club business, which should demonstrate that the business activity is successful which generally means being profitable and building equity.

The Agricultural and Rural Development Consultant advises that golf club business is not sufficiently financially robust to support the proposed development and is unlikely to be viable over the longer term, and therefore it has not been demonstrated that the business is viable and requires a home for a manager or staff on site. The Consultant also advises that similar business operations operate successfully without on-site accommodation, and therefore there is no real operational requirement for the applicants to live on site.

As was the case in the determination of application 19/00632/P, the applicant had presented no evidence to demonstrate why other security measures could not be used to deter and seek to prevent crime at the golf club, and again, there are many other golf clubs operating in the countryside without the requirement for someone to live on site.

Accordingly, as it has not been demonstrated the business is viable and without the operational justification of need for it, the principle of the building of one new house in association with the existing rural business of Castle Park Golf Club is contrary to Policy 17 of NPF4 and Policy DC1 and Part (i) of Policy DC4 of the adopted East Lothian Local Development Plan 2018.

Policy 16 of NPF4 allows (16(f)) for housing development on unallocated sites where the proposal is consistent with policy on rural homes and with other relevant policies including local living and 20 minute neighbourhoods. As the proposal is not consistent with Policy 17 of NPF4 or with Policy DC1 and Part (i) of Policy DC4 of the adopted East Lothian Local Development Plan 2018, it is also contrary to Policy 16 of NPF4.

If approved the proposed development would set an undesirable precedent for the development of new houses in similar circumstances elsewhere in the East Lothian countryside, the cumulative effect of which would result in a detrimental impact on the rural character and amenity of the countryside of East Lothian.

In conclusion, the proposed development does not accord overall with the relevant provisions of the Development Plan and there are no material considerations which outweigh the proposals discordance with the Development Plan.

REASON FOR REFUSAL:

- 1 The erection of a house on the application site would be new build housing development in the countryside of East Lothian for which:
 - (i) it has not been demonstrated to be necessary to support the sustainable management of a viable rural business, or that there is an essential need for a worker to live permanently at the site; and
 - (ii) a need to meet the requirements of the operation of a viable agricultural, horticultural, forestry, countryside recreation, or other business, leisure or tourism use has not been demonstrated.

The proposal is therefore contrary to Policies 16 and 17 of National Planning Framework 4 and DC1 and DC4 of the adopted East Lothian Local Development Plan 2018.

LETTERS FROM



18th October 2023